



BRENTWOOD
TENNESSEE

Williamson County Association of Realtors

April 26, 2023



BRENTWOOD
TENNESSEE

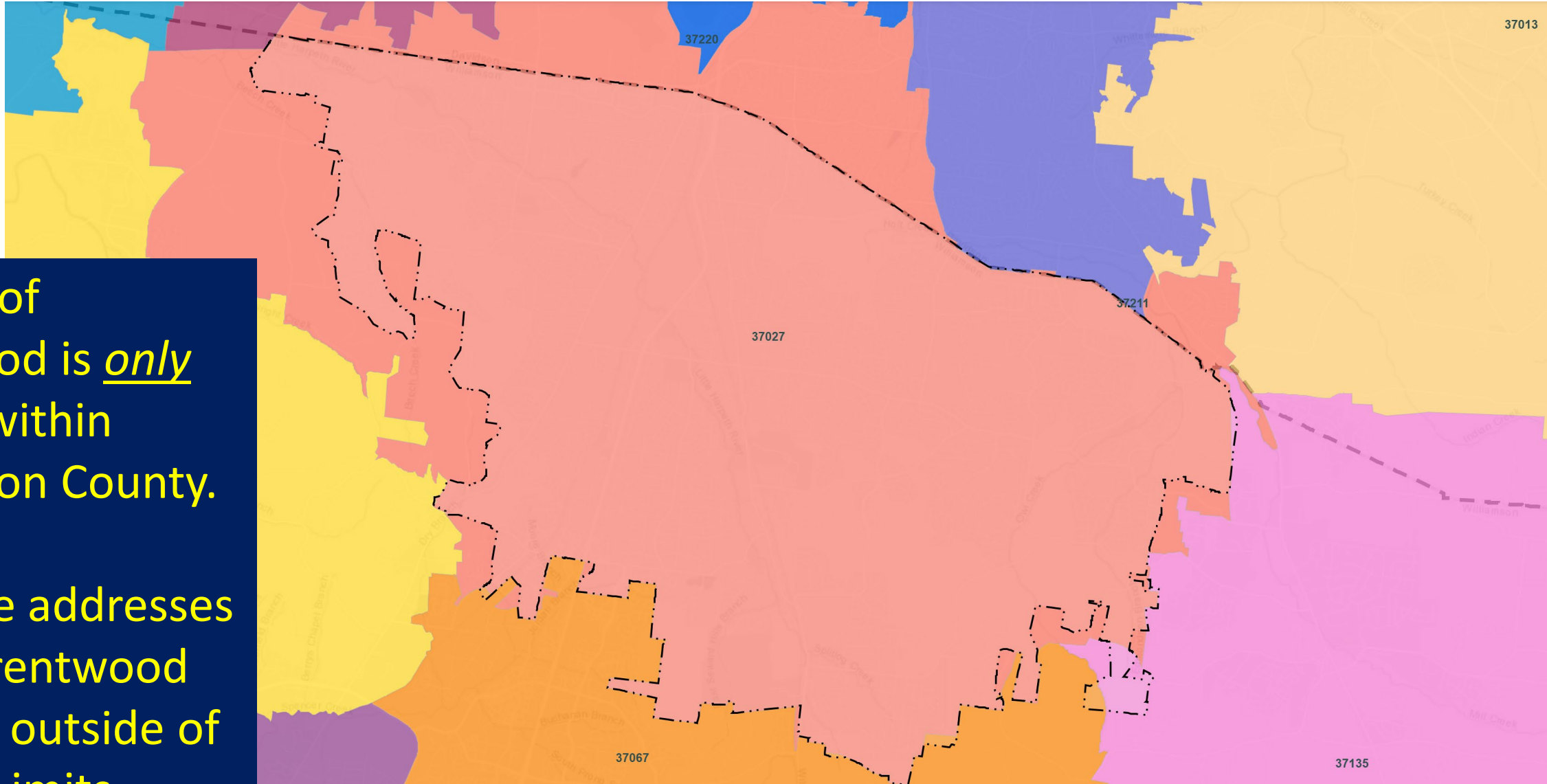


City of Brentwood, TN

- Population 45,373 (2020 Census)
- Approximately 42 square miles



BRENTWOOD
TENNESSEE



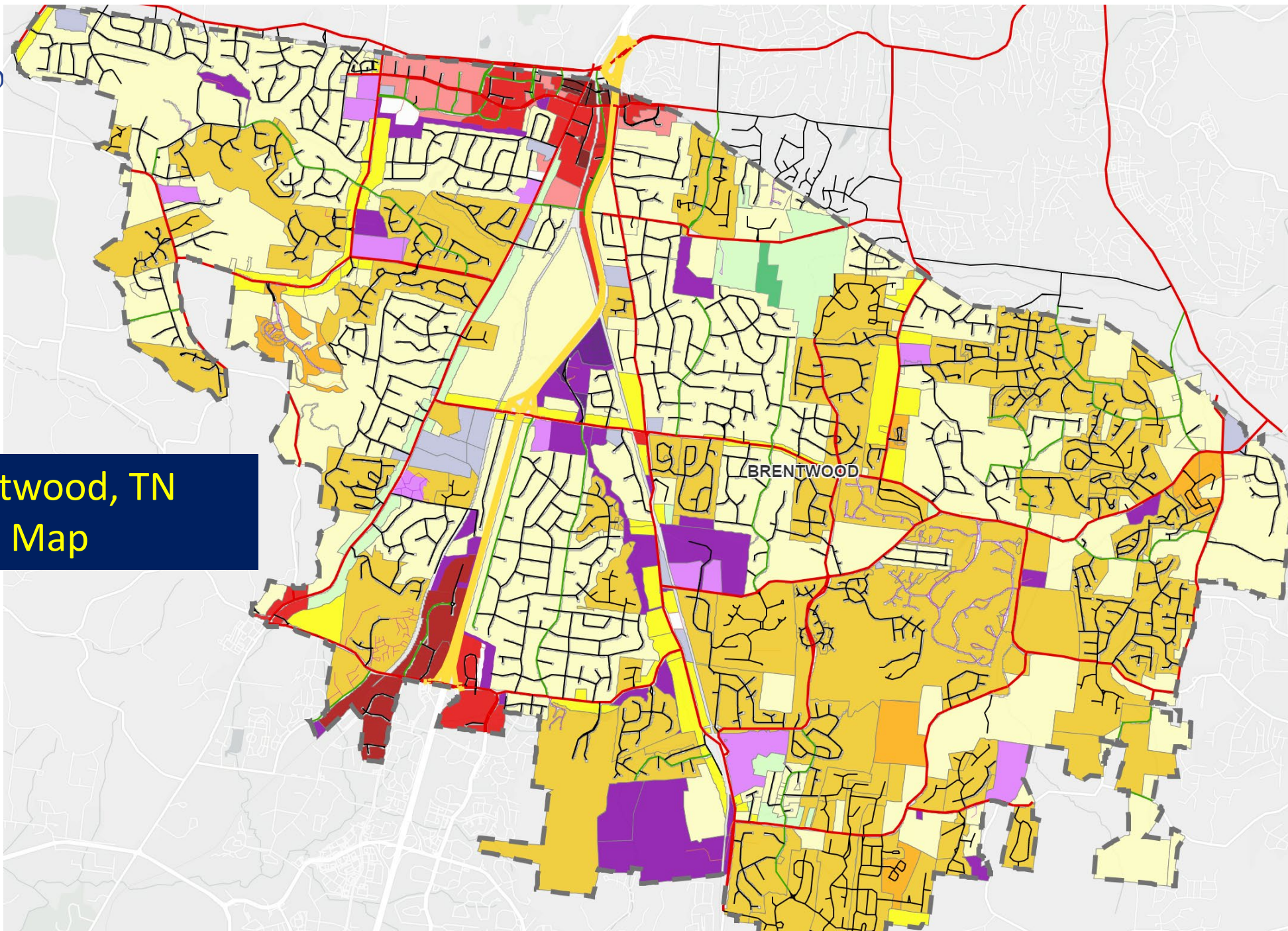
The City of Brentwood is only located within Williamson County.

There are addresses with a Brentwood Zip Code outside of the City Limits



BRENTWOOD
TENNESSEE

City of Brentwood, TN Zoning Map





AR and AR-IP – *Agricultural Residential* – Minimum size of three acres – Single-Family and general Agricultural Uses.

R-1 – *Large Lot Residential* – Minimum size of two acres with Single-Family dwellings

R-2 – *Suburban Residential* – Minimum lot size of one acre with Single-Family dwellings

OSRD and OSRD-IP – *Open Space Residential Development* – Provides greater flexibility for creative design to preserve significant natural or manmade features and resources, to minimize disturbance in floodplains and steep hillside areas, and/or to allow recreational opportunities by incorporating open space into the subdivision. **Although individual lot sizes may be less than one acre, the maximum density shall be no greater than one residential dwelling unit per acre of buildable area.**



ZONING SETBACK COMPARISON

	<i>AR</i>	<i>R-1</i>	<i>R-2</i>
Minimum Lot Area	3 ac.	2 ac.	1 ac.
Maximum Coverage -- All Buildings	25%	25%	25%
Minimum Lot Width @ Building Line	300'	200'	125'
Front Yard Setback	175'*	150'	75'
Rear Yard Setback	75'	50'	30'
Side Yard Setback -- Not Abutting Street	50'	30'	20'
Side Yard Setback -- Abutting Street	75'	45'	30'
Minimum Setback from Boundary of Dev.	N/A	35'	35'
Maximum Height of Structures	52'	52'	52'



ZONING SETBACK COMPARISON

	OSRD – Conventional Lot	OSRD – Transitional Lot	R-2
Minimum Lot Area	14,000 sq. ft.	21,780 sq. ft.	1 ac.
Minimum Required Green Space	40 %	40%	N/A
Maximum Coverage – All Buildings	25 %	25%	25 %
Minimum Width @ Building Line	110'	120'	125'
Front Yard Setback	50'	50'	75'
Side Yard Setback – Not Abutting Street	20' 15'/25'*	20' 15'/25'*	20'
Side Yard – Abutting Street	30'	30'	30'
Rear Yard Setback	30'	30'	30'
Minimum Setback from Boundary of Development	35'	35'	35'
Maximum Height of Structures	52'	52'	52'

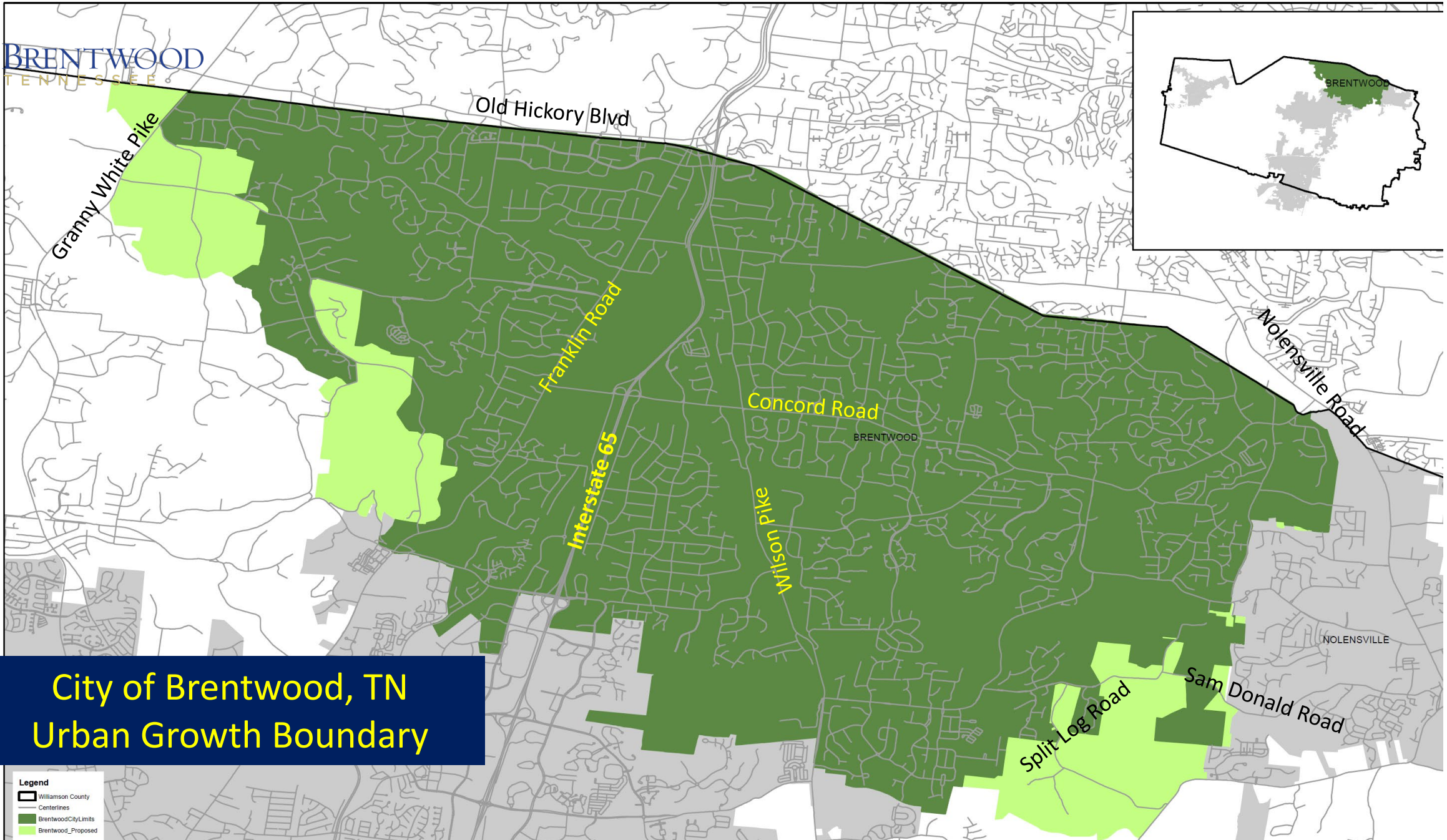
* The side yard may be established at 15 feet on one side and 25 feet on the adjoining side lot line, provided there is a minimum combined side setback distance on adjoining lots and between dwellings of 40'.



What if my lot is zoned Open Space Residential Development (OSRD)?

- *There is a minimum of 40% green space required per lot in this zoning district.*
- This calculation is determined by subtracting the total impervious surface square footage from the total lot square footage.
- The impervious surface includes the house, the driveway, the pool, and pool decking.

Brentwood Proposed UGB



City of Brentwood, TN
Urban Growth Boundary

Legend
Williamson County
Centerlines
Brentwood City Limits
Brentwood_Proposed



KNOW THE LOT YOUR CLIENT IS BUYING OR SELLING

- **HOW TO READ A PLAT**
- **EASEMENTS**
- **SETBACKS (BUILDING ENVELOPE)**
 - **Structures must be inside building envelope.**



A plan, prepared by a surveyor which creates a lot(s), showing the boundaries and location of individual properties and streets.

The distance that a building or structure is required to be set back from property lines.

The buildable area of the lot, as defined by building setback lines established by the City's Zoning Ordinance for the applicable zoning district.

Sheet 4 of 4



BRENTWOOD TENNESSEE

Easement

Gives authorization for another to use the owner's property for a specified purpose. Easements are generally created on a lot at the time the lot is platted. Common easement on most residential lots include public utility easements (i.e. water, gas, electric, etc.) and drainage easements.

Public Utility and Drainage Easements or P.U.D.E.

Usually placed along lot lines and street right-of-way for the purpose of installing utilities.

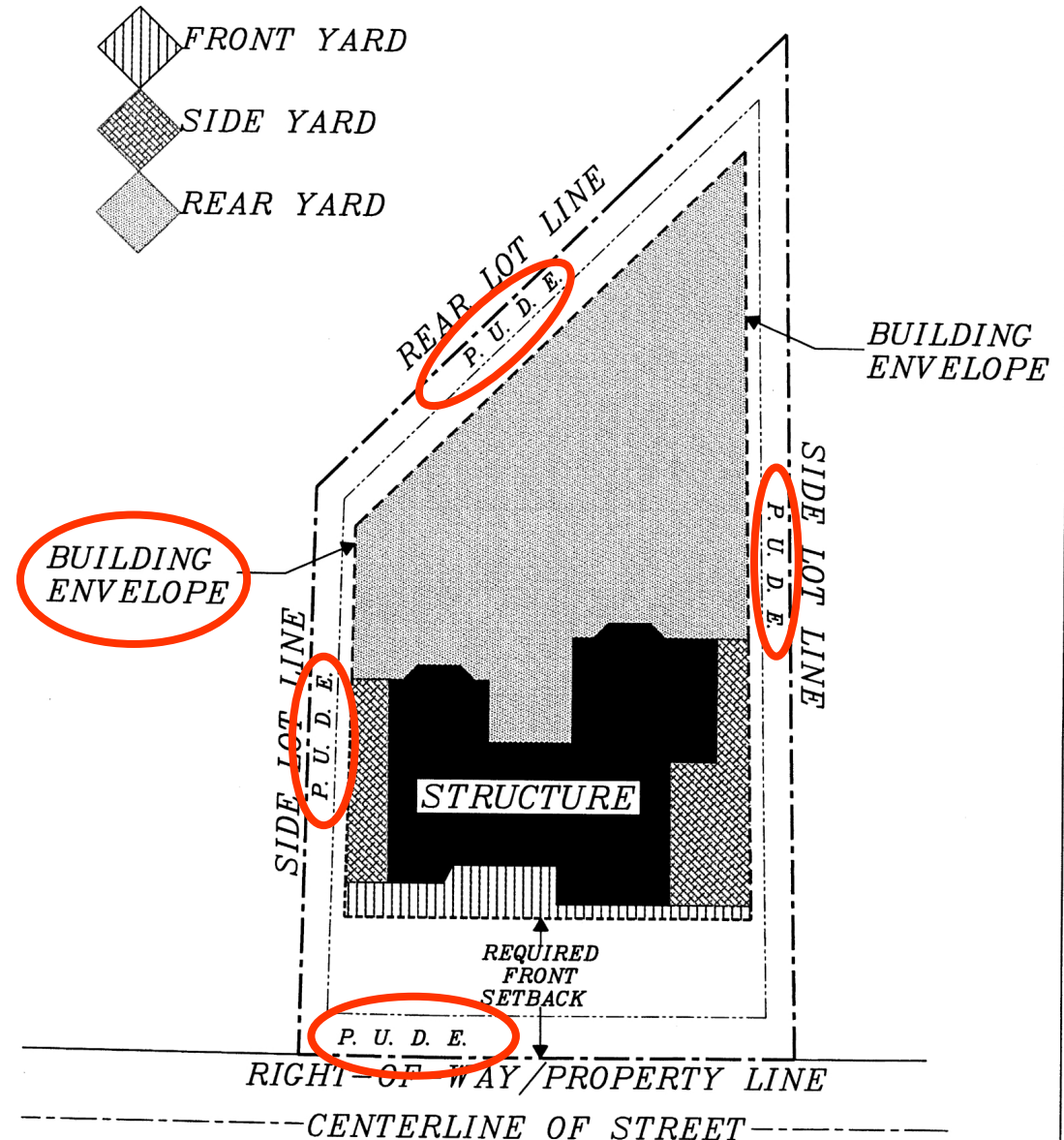
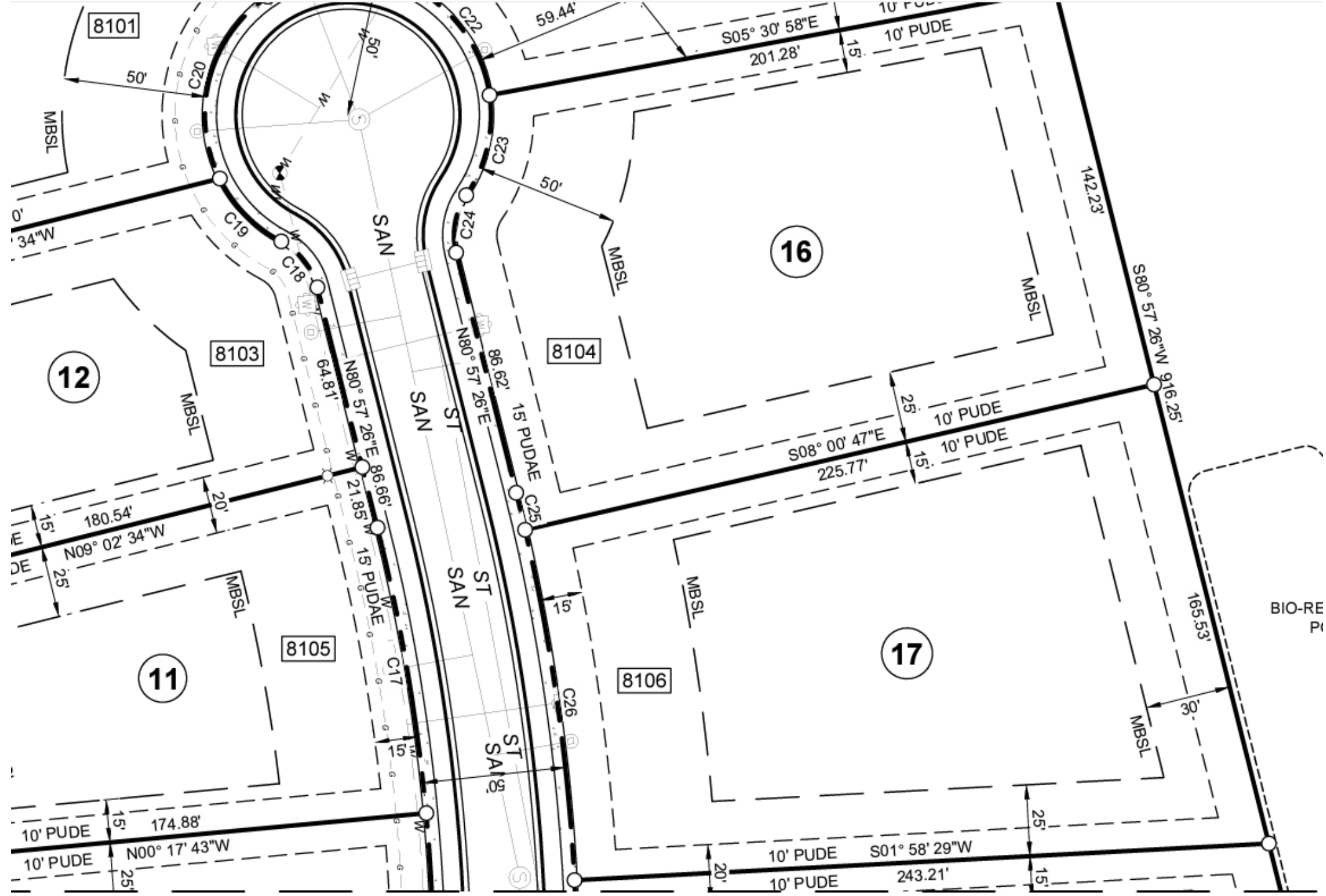


ILLUSTRATION NO. 1

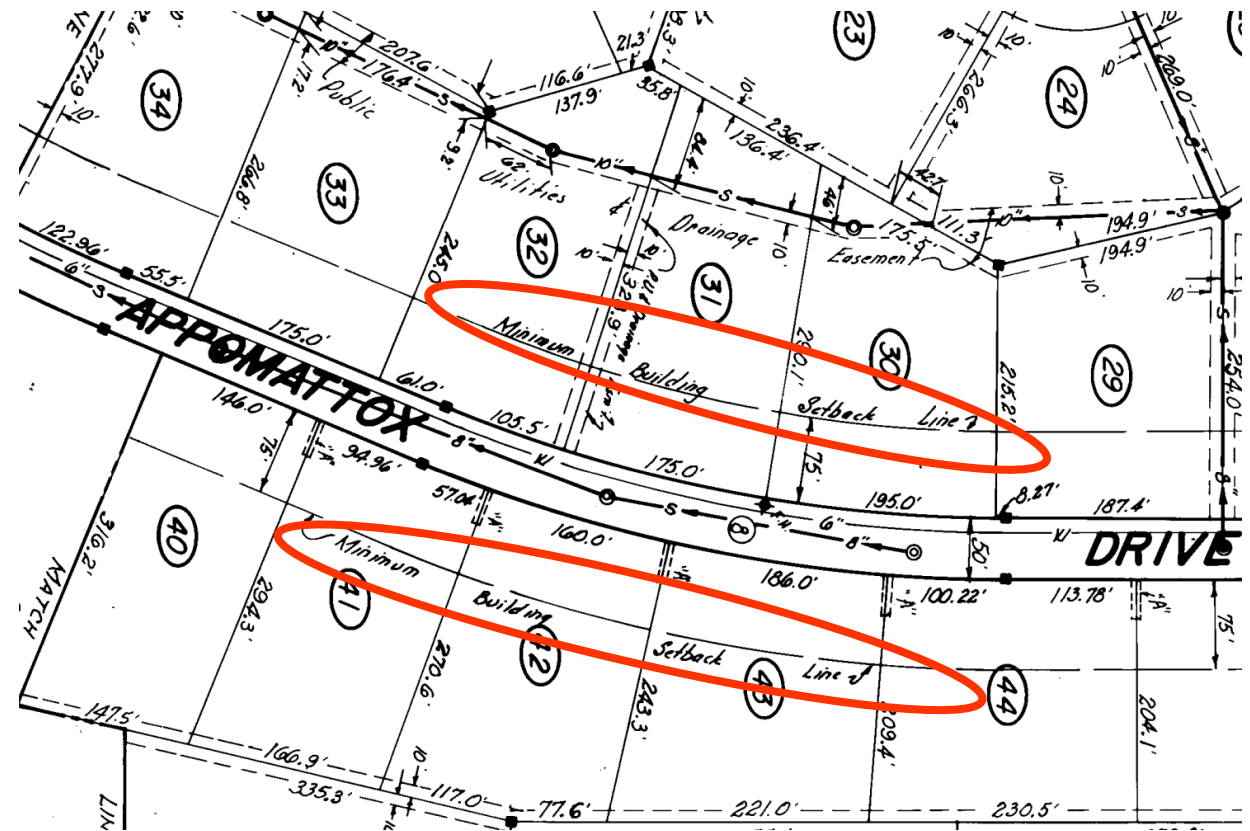




- Check the Zoning on the Property, and;
- **Obtain a copy of the recorded plat.**

These are recorded in the **Williamson County Register of Deeds Office.**

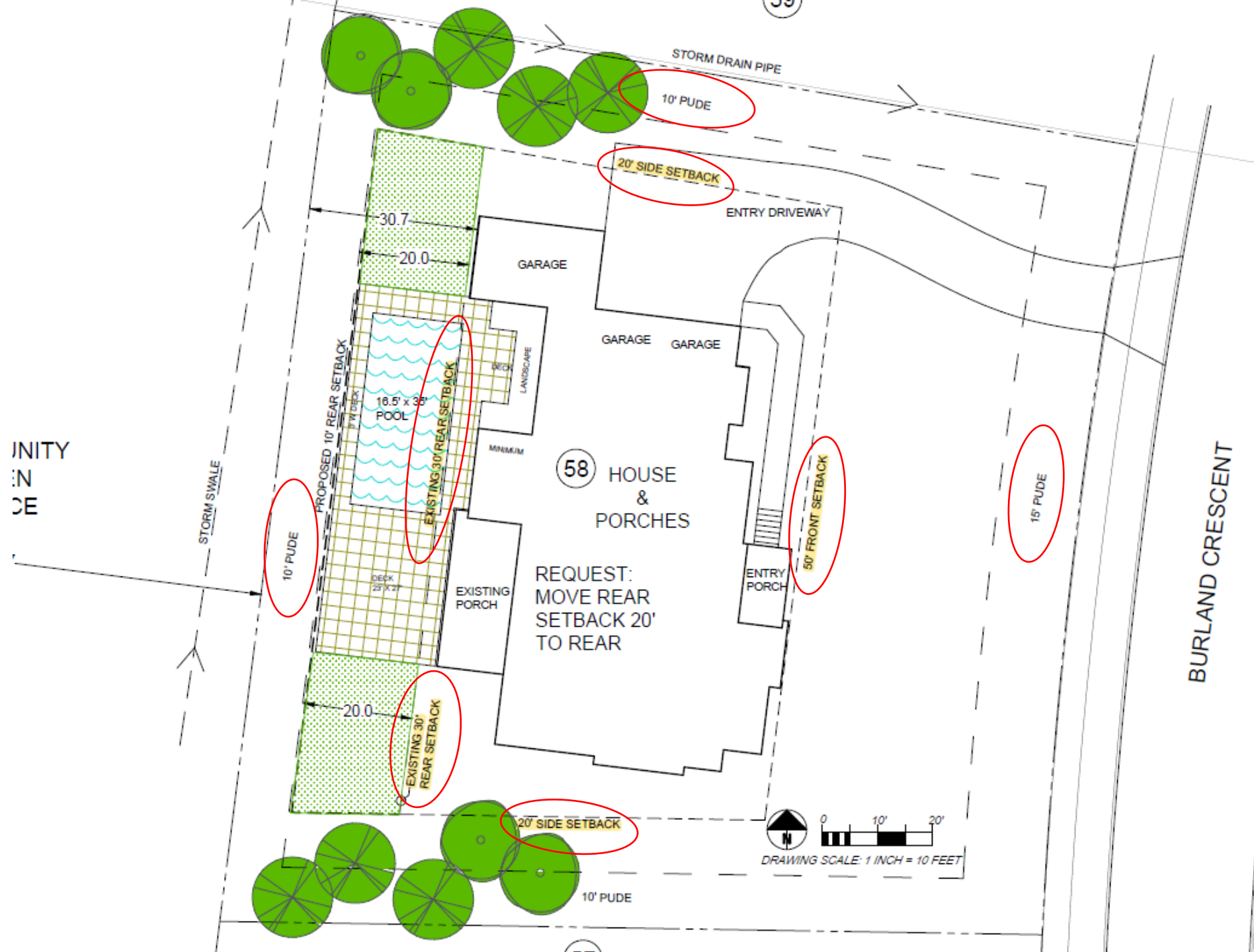
planning-codes@brentwoodtn.gov





REVISIONS	
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VARIANCE REQUEST for 20' SETBACK REDUCTION



REVISIONS	
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VARIANCE REQUEST for 20' SETBACK REDUCTION





KNOW THE LOT YOU ARE SELLING

- **BOARD OF ZONING APPEALS**
- **VARIANCES**
- **ACCESSORY STRUCTURES**
- **BUILDING A POOL**



Board of Zoning Appeals - Variance Requests

Section 78-59 of the Brentwood Municipal Code, requires the Board of Zoning Appeals to considers applications for variances. Three criteria must be met for a Variance:

1. Where, by reason of **exceptional narrowness, shallowness, or shape of a specific piece of property** at the time of the enactment of the Zoning Ordinance or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition, property is not able to accommodate development as required under this Ordinance.
2. The strict application of any provision enacted under the Zoning Ordinance **would result in practical difficulties to or undue hardship** upon the owner of the property.
3. The **relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Zoning Ordinance.**



Board of Zoning Appeals (BZA) - Accessory Structures:

- A detached subordinate structure, whose use is incidental to the principal structure and located on the same lot in the rear, buildable area. **Pool house, shed, detached garage, barn, etc.** (Permits are required for all)
- **Anything greater than 12 feet tall, or greater than 225 gross square feet must be approved by the Board of Zoning Appeals.**
- Cannot exceed more than 750 square feet in size
- Lots that are under three acres in size are limited to one accessory structure
- **No accessory building shall be designed or used for sleeping quarters on parcels less than 3 acres in size.**



Accessory Structure – Detached from the Principal Structure

- **Greater than 225 square feet under roof and/or taller than 12 feet in height requires Board of Zoning Appeals (BZA) approval.**
- No sleeping quarters unless more than 3 acres with BZA approval
- Cannot exceed more than 750 square feet in size
- Must be located in the rear buildable area of the house
- Lots that are under three acres in size are limited to one accessory structure

Semi-detached

- Covered breezeway less than 10 feet in length
- Does not require BZA approval for size
- If greater than 800 square feet in size, requires an engineered site plan stamped by a Professional Engineer (PE) or Registered Landscape Architect (RLA)
- No sleeping quarters allowed
- Can be placed anywhere on the lot within the building envelope
- Connector and structure must match the house

Addition – Hallway

- Has to be a covered conditioned hallways and conditioned structure
- No limitation on length of connector
- Can have sleeping quarters
- Can be place anywhere on the lot within the building envelope
- If greater than 800 square feet in size, requires an engineered site plan stamped by a Professional Engineer (PE) or Registered Landscape Architect (RLA)

Addition – Attached to House

- Can have sleeping quarters
- Can be place anywhere on the lot within the building envelope
- If greater than 800 square feet in size, requires an engineered site plan stamped by a Professional Engineer (PE) or Registered Landscape Architect (RLA)



So, you want to build a pool?

The pool, pool decking, and pool equipment must be located within the rear buildable area of the house and within the building envelope.

How do I apply for a pool permit?

- Applications can be found at brentwood.onlma.com.
- You will need to register for an account before you can apply for a permit.
- If you have applied for permits in the past with the City of Brentwood, you will have a registration code that will link to your previous permits.

What is needed to apply for a permit?

- Contractor's license
- Worker's compensation or exemption with the City of Brentwood listed as a Certificate Holder.
- Business Tax License. If the project or cumulative projects for the year exceeds \$50,000, a City of Brentwood Business Tax License will be required.

What is required to be shown on the site plan?

- The location of the pool, pool decking, and pool equipment.
- The location of the fence whether it is existing or proposed.
- Open space calculation if the lot is zoned OSRD.

What if I want to build a pool house or pavilion along with a pool?

- If the accessory structure has a gross floor area of 225 square feet or more than 12 feet in height, it will require approval by the Board of Zoning Appeals.
- If the accessory structure is less than 225 square feet, it will require a separate permit from the pool permit.
- The accessory structure must be located within the rear buildable area of the house and within the building envelope.



KNOW THE LOT YOUR CLIENT IS BUYING OR SELLING

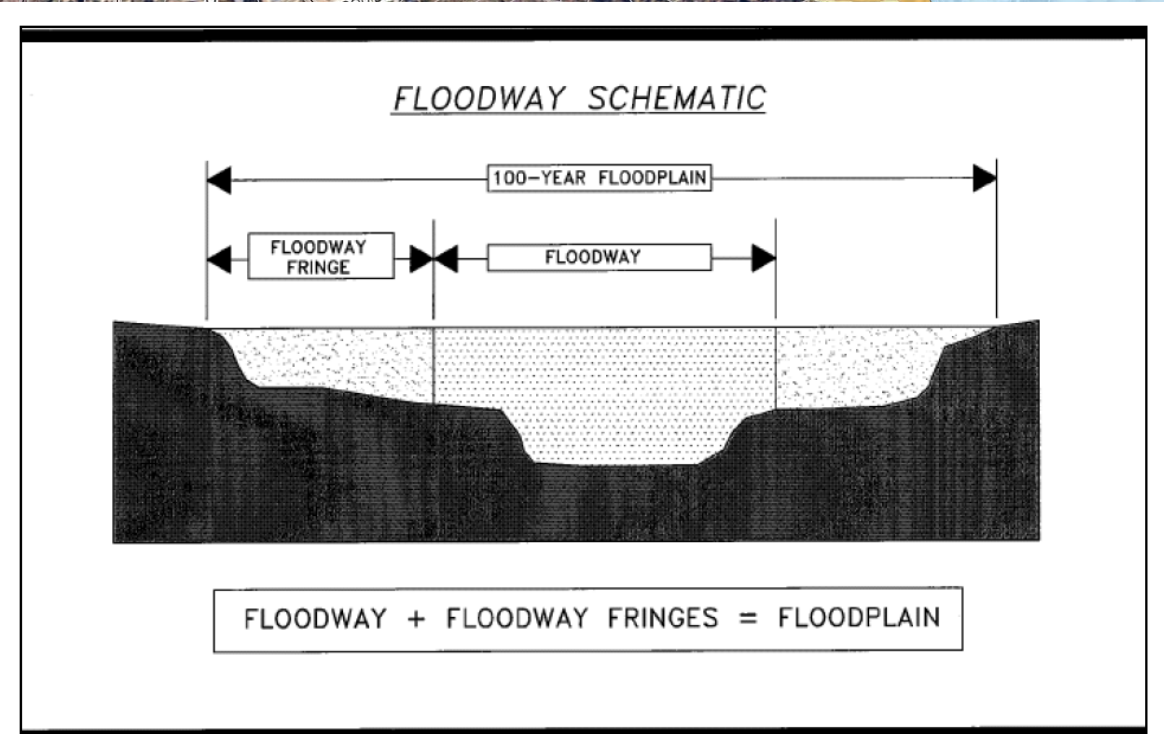
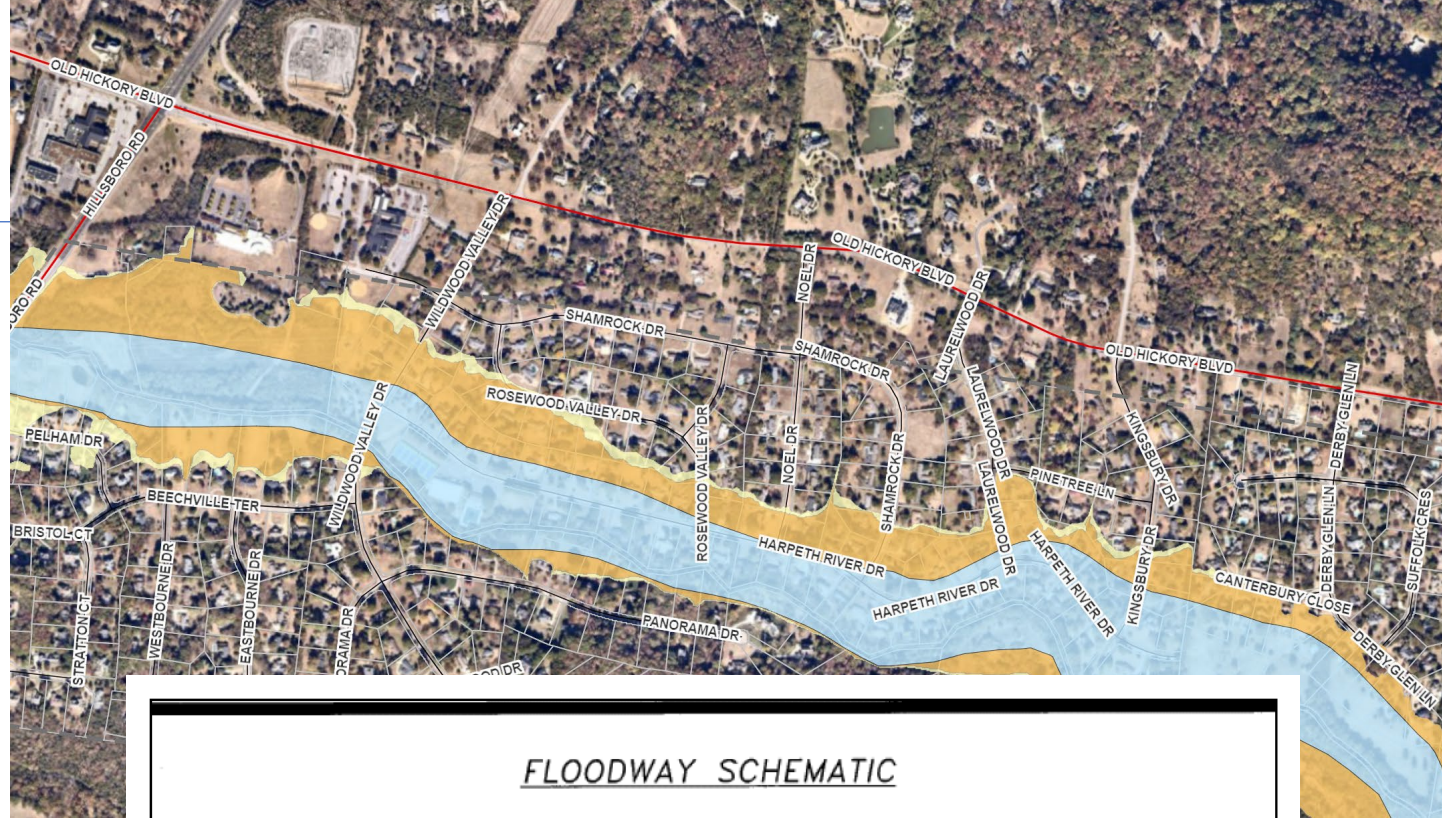
- **FLOODPLAIN/FLOODWAY**
- **DEAD END STREETS, OR NOT?**
- **AIR BNB OR VRBO'S**
- **TRANSITIONAL LOTS**
- **HILLSIDE OVERLAY**
- **SUBSTANTIAL REBUILD LOTS**



Floodplain

Floodway – The channel of a river or watercourse and the adjacent land area that must remain undeveloped due to the fact it is subject to routine flooding.

Floodway Fringe – The area outside of the designated floodway that is still subject to flooding during extraordinary rain events. *Development can occur in the Floodway Fringe via a process known as compensating cut and fill.* This means that any material added to a site within the Floodway Fringe must be offset by an equivalent amount of material being removed such that the net effect is no increase in the overall flood elevation level.

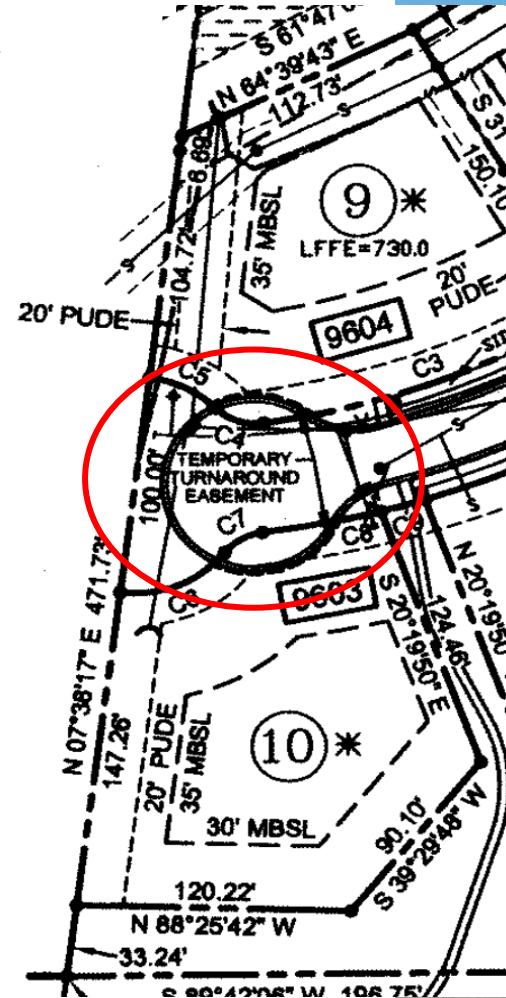




Temporary Dead End Signs

When a street is approved by the Planning Commission as a temporary dead-end for future extension into an adjoining tract of land, a sign shall be erected by the developer upon the construction of the temporary dead-end street.

At such time as the permanent street is extended into the adjoining property and the temporary cul-de-sac is to be abandoned, the developer of the adjacent tracts shall be required to properly connect this section of the existing street with the new street.





Single-family residences

- The City of Brentwood does not allow Airbnb or VRBO's.
- *No single-family residence or portion thereof may be rented out to any tenant(s) for a period of less than three months.*



BRENTWOOD
TENNESSEE

Transitional Lot

Lots containing existing slopes of fifteen percent (15%) or greater anywhere on the lot shall be designated as a “transitional lot.”

No residence shall be built on a transitional lot without a detailed site plan prepared by a professional engineer (PE) or a registered landscape architect (RLA) licensed by the State of Tennessee.

* TRANSITIONAL LOT NOTE

LOTS DESIGNATED WITH AN ASTERISK (*) HAVE NATURAL SLOPES OF GREATER THAN 15%. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR A RESIDENTIAL LOT WITH A SLOPE OF 15% OR GREATER, A PLAN SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER FOR APPROVAL BY THE CITY ENGINEER SHOWING EXISTING TOPOGRAPHIC INFORMATION FROM FIELD RUN SURVEY DATA, BOUNDARY AND SETBACK LINES, UTILITY AND DRAINAGE EASEMENTS, EXISTING AND PROPOSED DRAINAGE PIPES, DITCHES AND SWALES TO BE CONNECTED TO PUBLIC DRAINAGE LINES AND/OR TO DIRECT OR RE-DIRECT STORMWATER RUNOFF, THE PROPOSED BUILDING FOOTPRINT AND THE DRIVEWAY PLAN, INCLUDING THE FINISHED FLOOR ELEVATIONS AND FINISHED GRADES OF PAVEMENTS AND GROUND LINES, IDENTIFICATION OF EXISTING TREES IN EXCESS OF FOUR-INCH CALIPER AND TREES TO BE PRESERVED, AND THE LOCATION AND TIMING OF INSTALLATION OF EROSION CONTROL FEATURES. NO CLEAR CUTTING OF TREES OR GRADING OF THE LOT SHALL BE PERMITTED UNTIL APPROVAL OF THE SITE PLAN BY THE CITY ENGINEER.



BRENTWOOD
TENNESSEE

Hillside Protection Overlay

An overlay zoning district established to meet the challenges of development in the higher elevation areas of the city.

- Includes all areas with an elevation of 850 feet or greater.
- ***Requires larger lot sizes (minimum of three acres).***
- Restricts the amount of land disturbance and tree cutting on a lot.
- All residential dwelling units and garages, shall be protected through an automatic sprinkler system installed in accordance with National Fire Protection Association (NFPA) standards.





How to Read a Plat

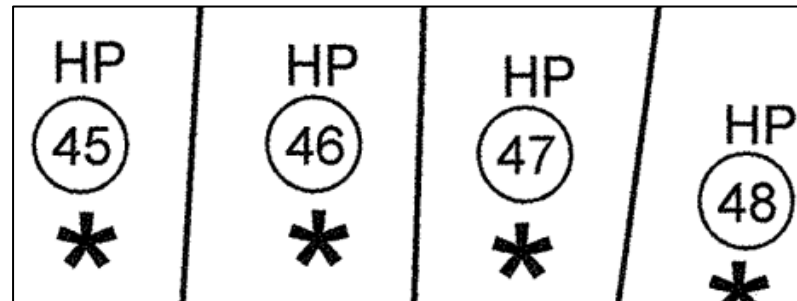
SITE DATA

Current Zoning: R-2

num Building Setbacks:

Front: 75 Feet
Rear: 35 Feet
Side: 20 Feet

HILLSIDE PROTECTION LOTS MUST MEET REQUIREMENTS OF CHAPTER 78, DIVISION 14 OF THE BRENTWOOD MUNICIPAL CODE.



***TRANSITIONAL LOT NOTE**

LOTS DESIGNATED WITH AN ASTERISK (*) HAVE NATURAL SLOPES OF GREATER THAN 15%. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR A RESIDENTIAL LOT WITH A SLOPE OF 15% OR GREATER, A PLAN SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER FOR APPROVAL BY THE CITY ENGINEER SHOWING EXISTING TOPOGRAPHIC INFORMATION FROM FIELD RUN SURVEY DATA, BOUNDARY AND SETBACK LINES, UTILITY AND DRAINAGE EASEMENTS, EXISTING AND PROPOSED DRAINAGE PIPES, DITCHES AND SWALES TO BE CONNECTED TO PUBLIC DRAINAGE LINES AND/OR TO DIRECT OR RE-DIRECT STORMWATER RUNOFF, THE PROPOSED BUILDING FOOTPRINT AND THE DRIVEWAY PLAN, INCLUDING THE FINISHED FLOOR ELEVATIONS AND FINISHED GRADES OF PAVEMENTS AND GROUND LINES, IDENTIFICATION OF EXISTING TREES IN EXCESS OF FOUR-INCH CALIPER AND TREES TO BE PRESERVED, AND THE LOCATION AND TIMING OF INSTALLATION OF EROSION CONTROL FEATURES. NO CLEAR CUTTING OF TREES OR GRADING OF THE LOT SHALL BE PERMITTED UNTIL APPROVAL OF THE SITE PLAN BY THE CITY ENGINEER.



Substantial Rebuild Lots

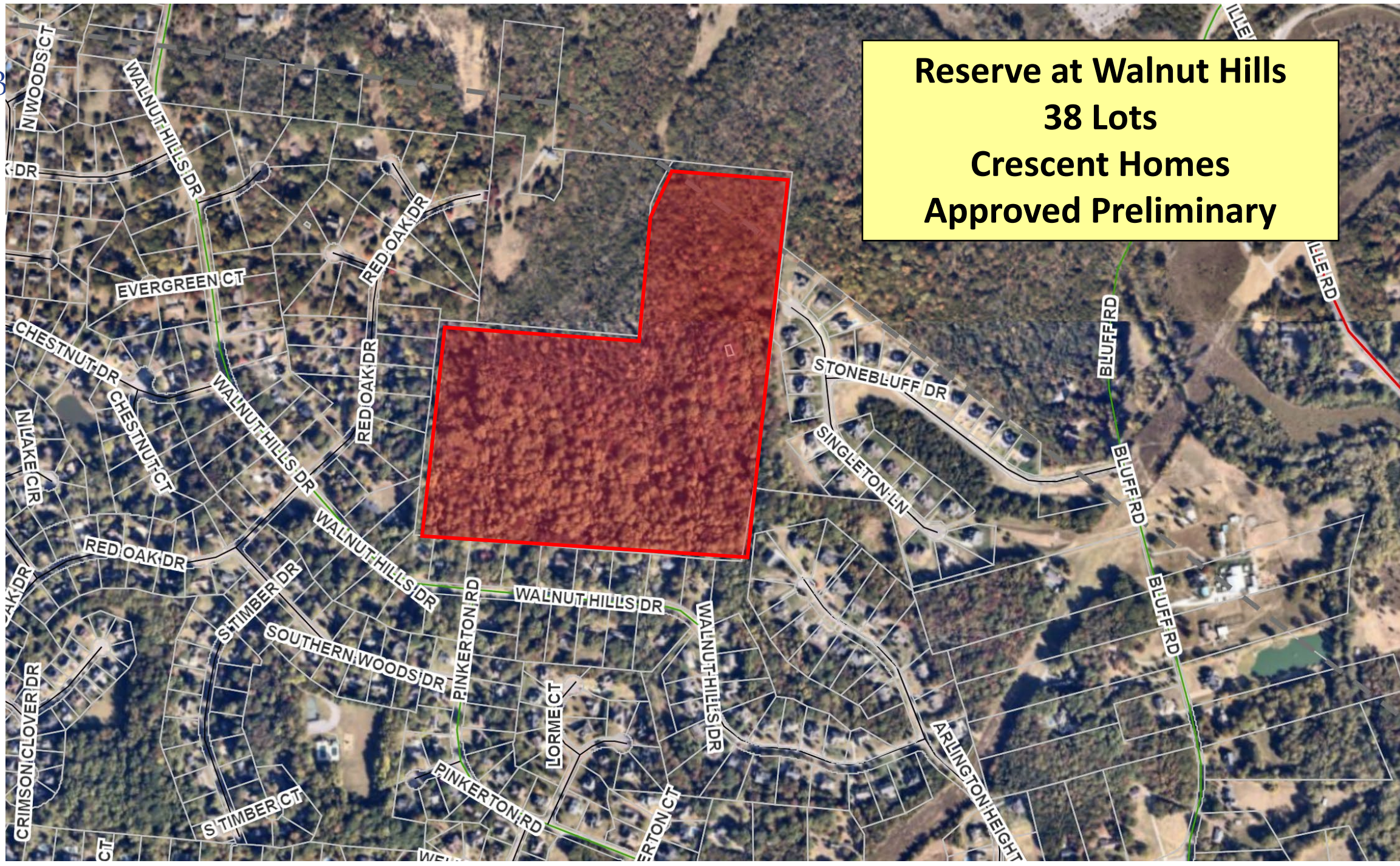
- **Substantial Rebuild Lot** is an existing lot that has or had a structure on the lot and the existing structure is to be demolished and a new structure constructed;
- Or, an existing structure is to be expanded or partially rebuilt with an increase in impervious surface equal to or greater than 800 square feet.
- ***Any substantial rebuild, including commercial, residential, additions, swimming pools, or exterior remodel, will require a grading plan to be designed by a TN licensed engineer or landscape architect.***



Residential Development Projects



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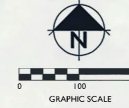


Reserve at Walnut Hills
38 Lots
Crescent Homes
Approved Preliminary



WALNUT HILLS MASTER PLAN

January 17, 2023



CRESCENT
HOMES

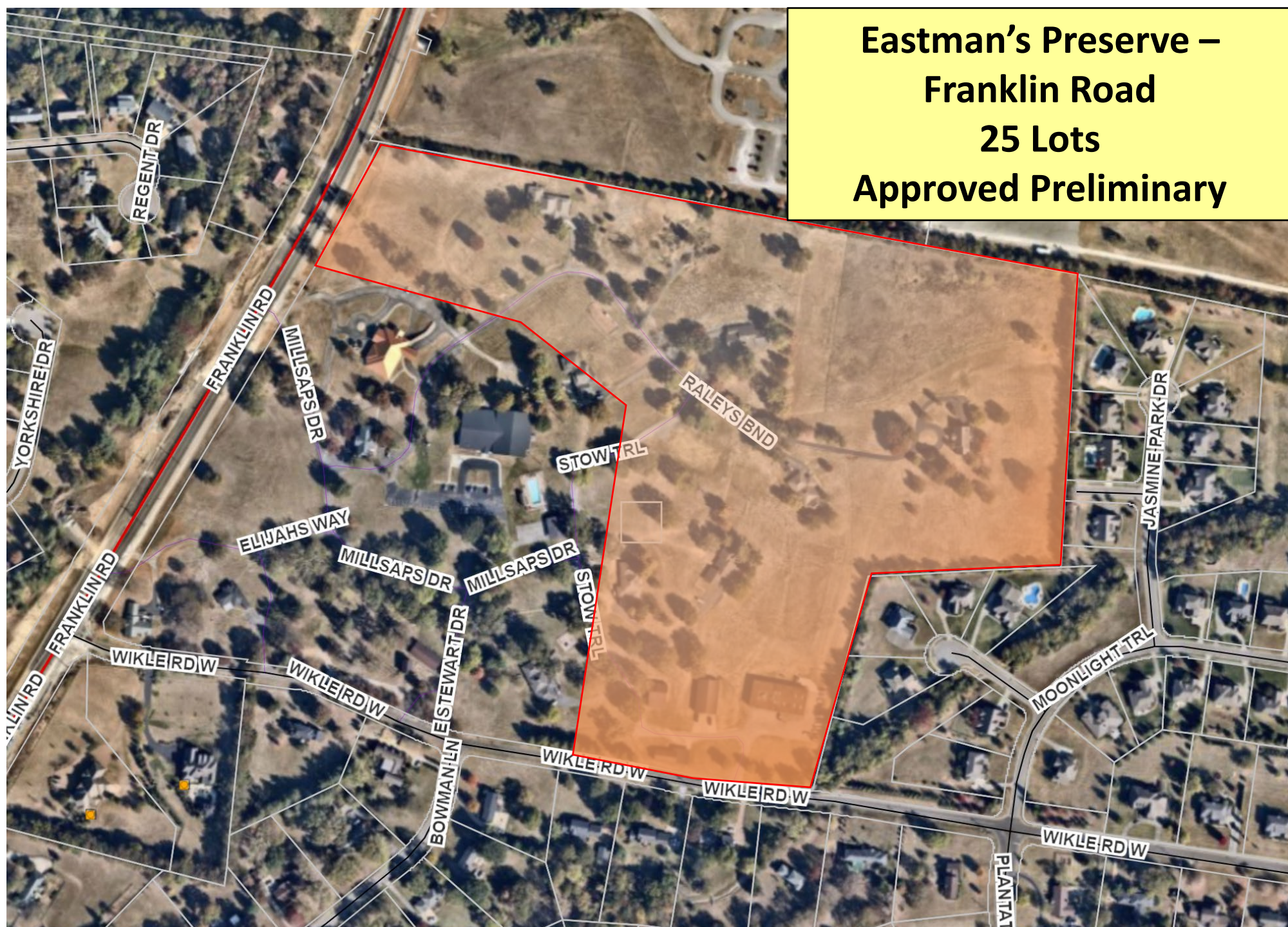


SITE DATA

Site Area:	56.8 Ac
Proposed Homes:	39 Homes
Lot Size:	1 acre min (43,560 sq. ft)
Proposed Density:	0.7 dua (1 dua max)
Minimum lot width:	125'
Setbacks:	
Front:	75'
Side:	20'
Rear:	30' (35' along perimeter)

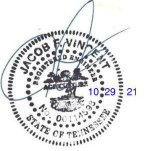


**Eastman's Preserve –
Franklin Road
25 Lots
Approved Preliminary**





Nashville - Murfreesboro - Chattanooga
ragansmith.com



EASTMAN'S PRESERVE

FOR

TN BAPTIST CHILDREN'S HOMES

CITY OF BRENTWOOD, WILLIAMSON COUNTY, TENNESSEE

Scale: 1"=100'

Date: 10/25/21

Approved By: H. GRIMES

Revisions:

NO.	DESCRIPTION	DATE
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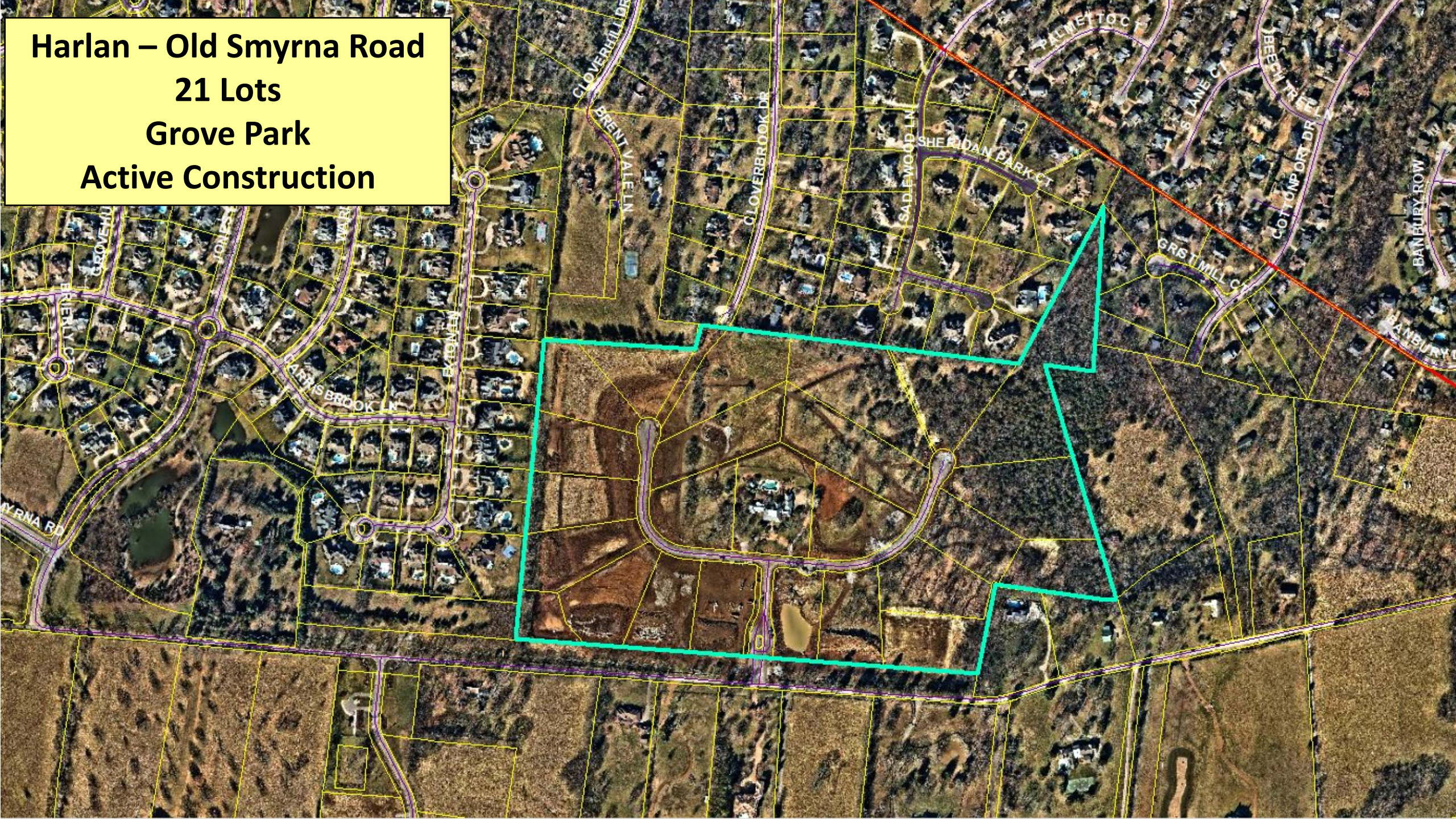
Drawing Title:

OVERALL MASTER PLAN



0 100 200

Harlan – Old Smyrna Road
21 Lots
Grove Park
Active Construction





DISCLAIMER: This artist's rendering is prepared as a conceptual information plan only and is not exact. All information is subject to change. Please refer to the recorded final plat to confirm all information.

HARLAN

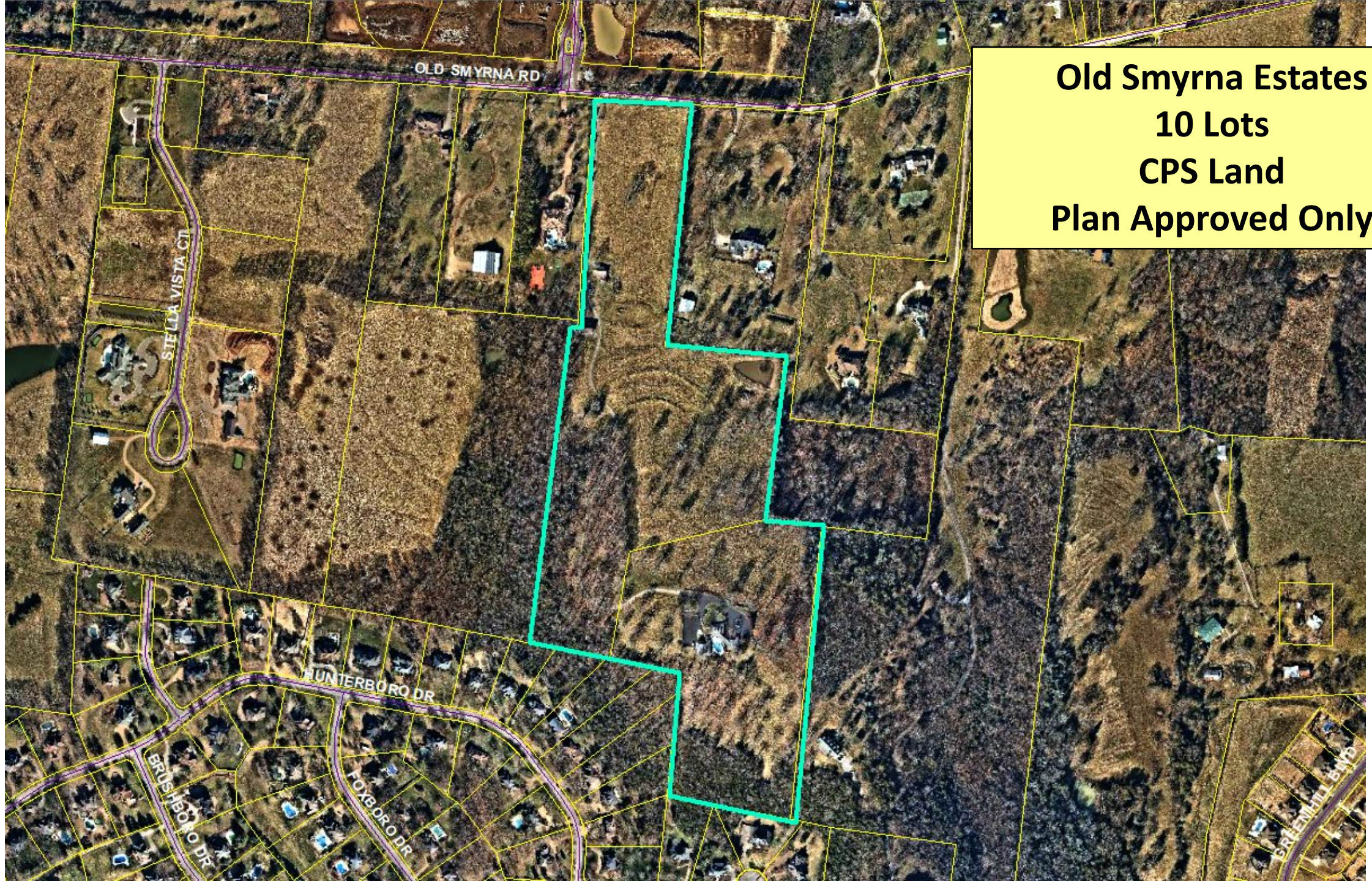
COMMUNITY MASTERPLAN

R-2 ZONING



RAGAN·SMITH





Old Smyrna Estates
10 Lots
CPS Land
Plan Approved Only



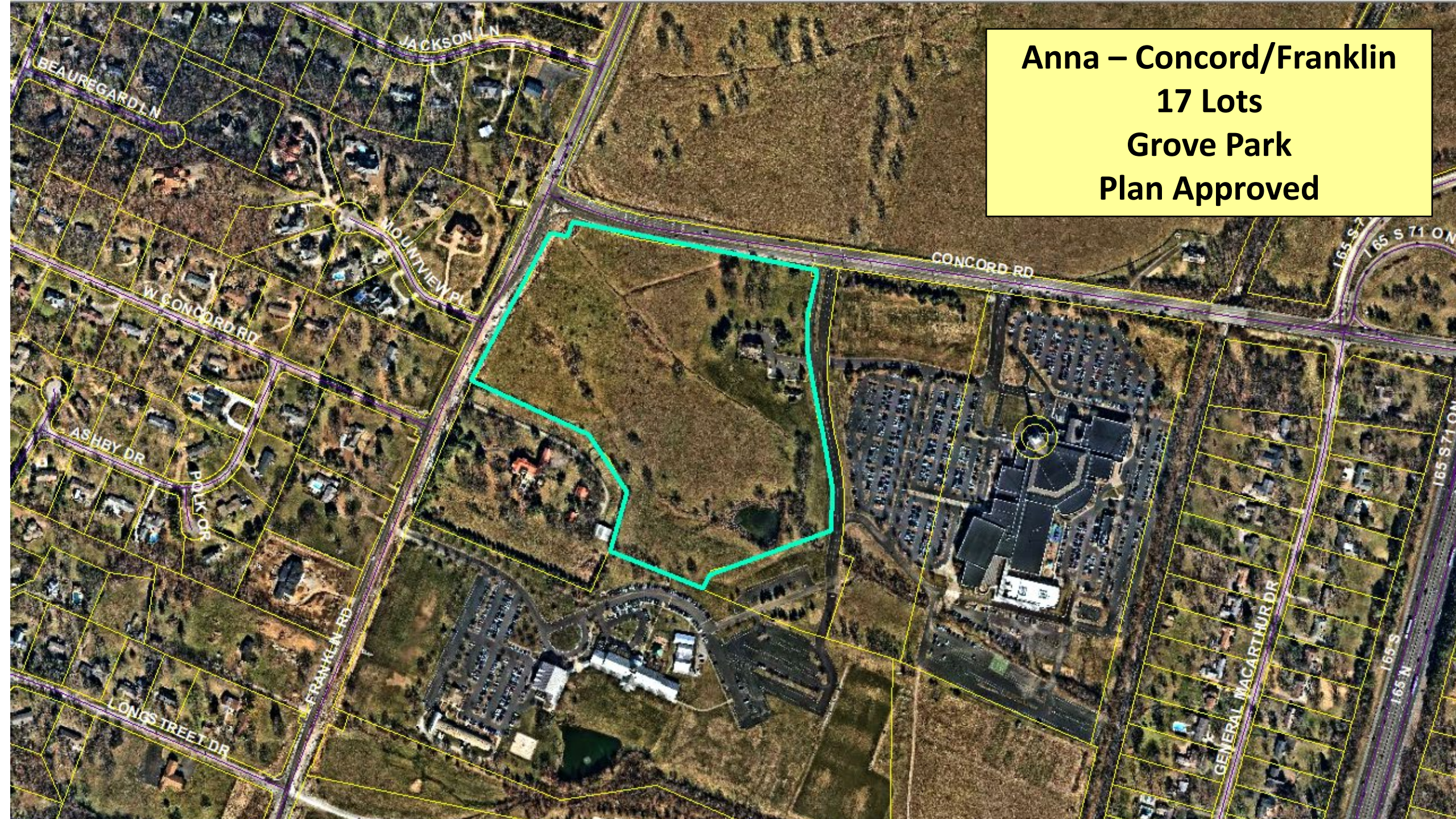
BRENTWOOD
TENNESSEE

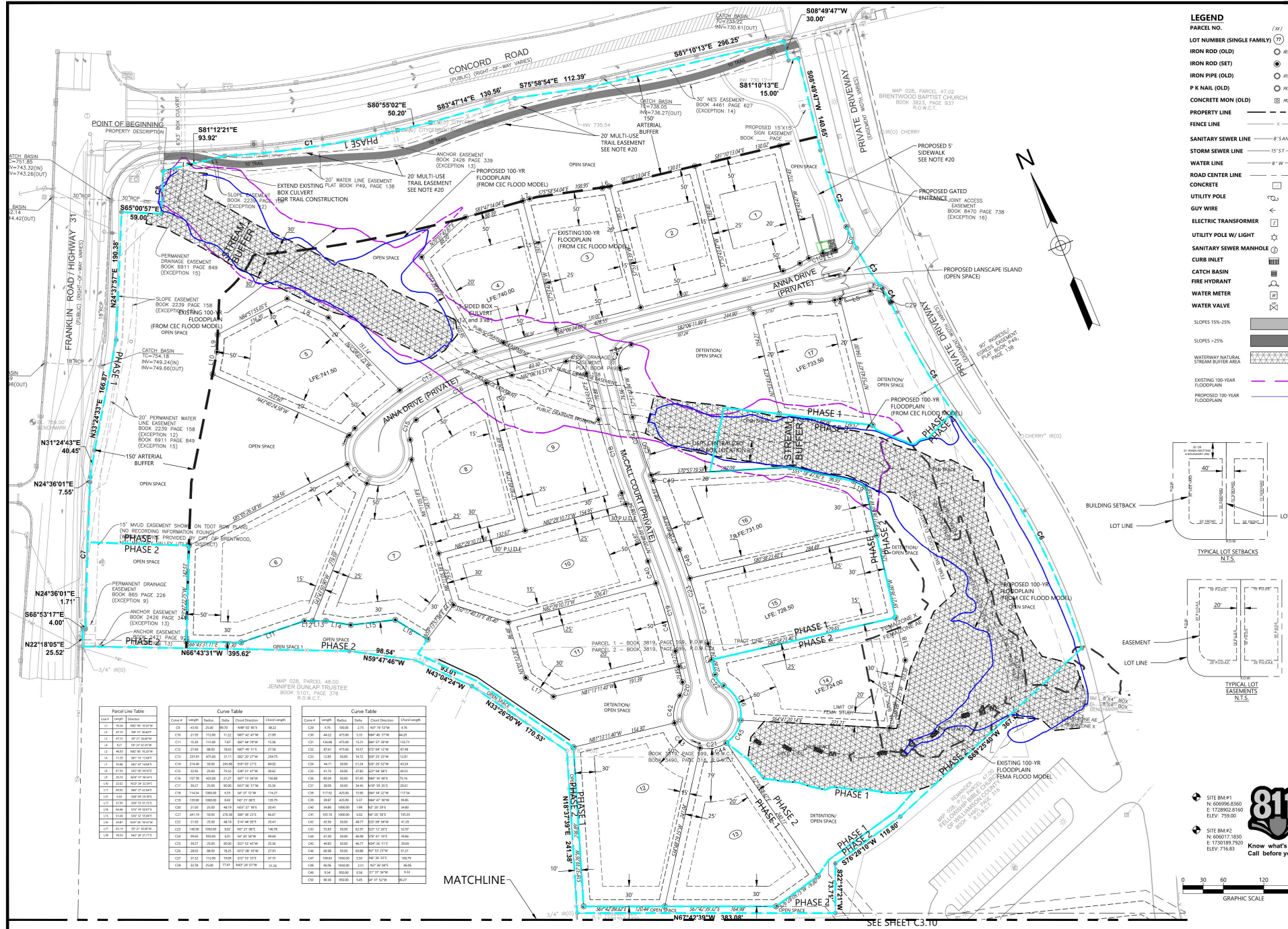
ReganSmith
MASTER PLAN
BRENTWOOD TOWN
SHELBY COUNTY
22.0000.100.100002

OLD SMYRNA ESTATES

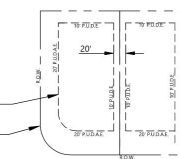
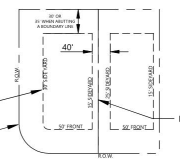


Anna – Concord/Franklin
17 Lots
Grove Park
Plan Approved





- LEGEND**
- PARCEL NO. (N)
- LOT NUMBER (SINGLE FAMILY) (7)
- IRON ROD (OLD) (R)
- IRON ROD (SET) (S)
- IRON PIPE (OLD) (R)
- P K NAIL (OLD) (R)
- CONCRETE MON (OLD) (M)
- PROPERTY LINE**
- FENCE LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- WATER LINE
- ROAD CENTER LINE
- CONCRETE
- UTILITY POLE
- GUY WIRE
- ELECTRIC TRANSFORMER
- UTILITY POLE W/ LIGHT
- SANITARY SEWER MANHOLE
- CURB INLET
- CATCH BASIN
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- SLOPES 15% - 25%
- SLOPES > 25%
- WATERSHED NATURAL STREAM BUFFER AREA
- EXISTING 100-YR FLOODPLAIN
- PROPOSED 100-YR FLOODPLAIN



McNeely Civil Engineering, LLC
254 Beigan Road
Nolensville, TN 37135

Client/Project:
GROVE PARK LAND CO.
1537 FRANKLIN ROAD
SUITE 300
BRENTWOOD, TN 37027
615-584-1615

Revisions:
Item: Date:

Project No.: MCE 220017

Designed By: EMM
Drawn By: EMM
Checked By: E. MCNEELY
Date: 01/03/2023

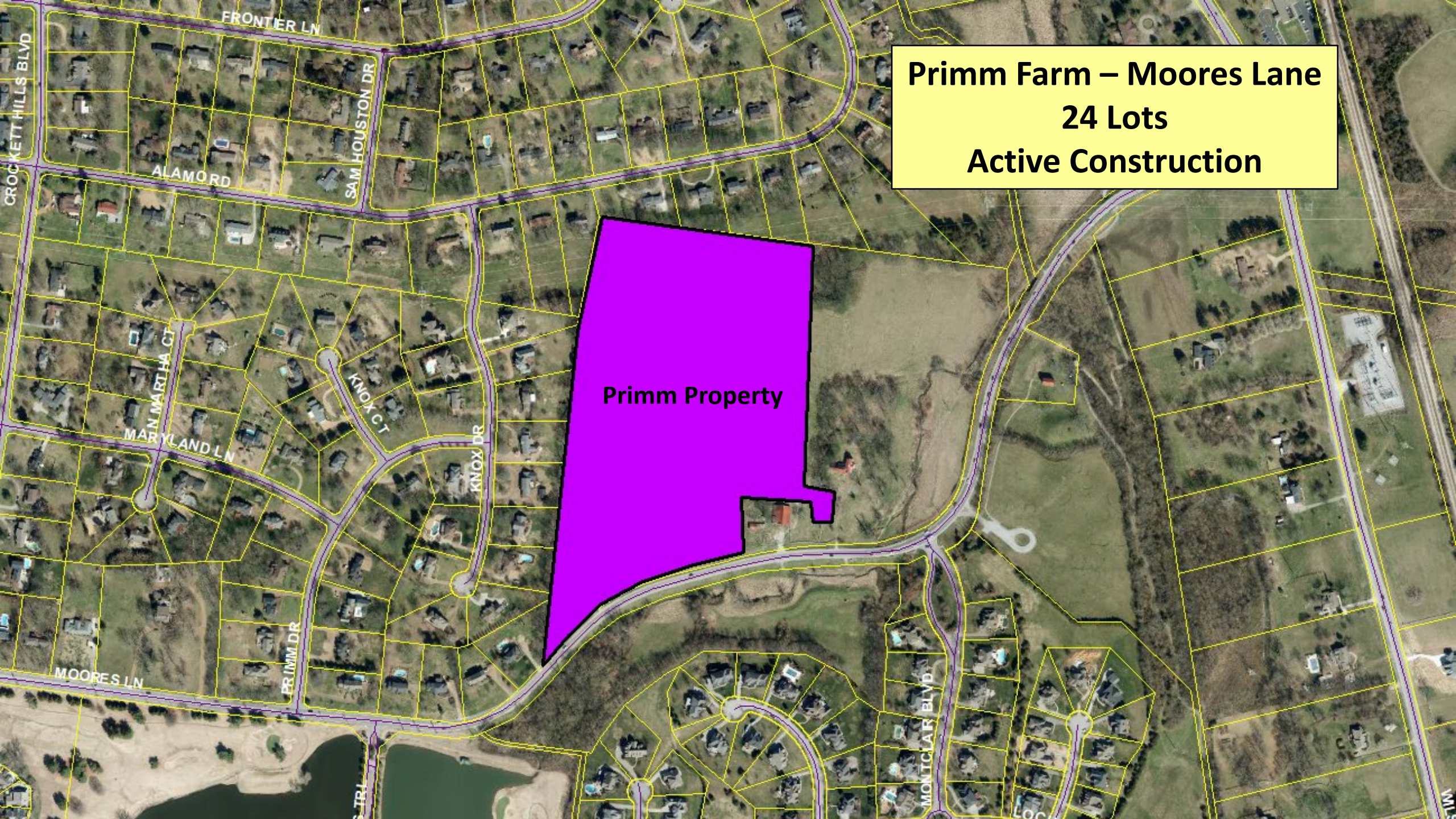
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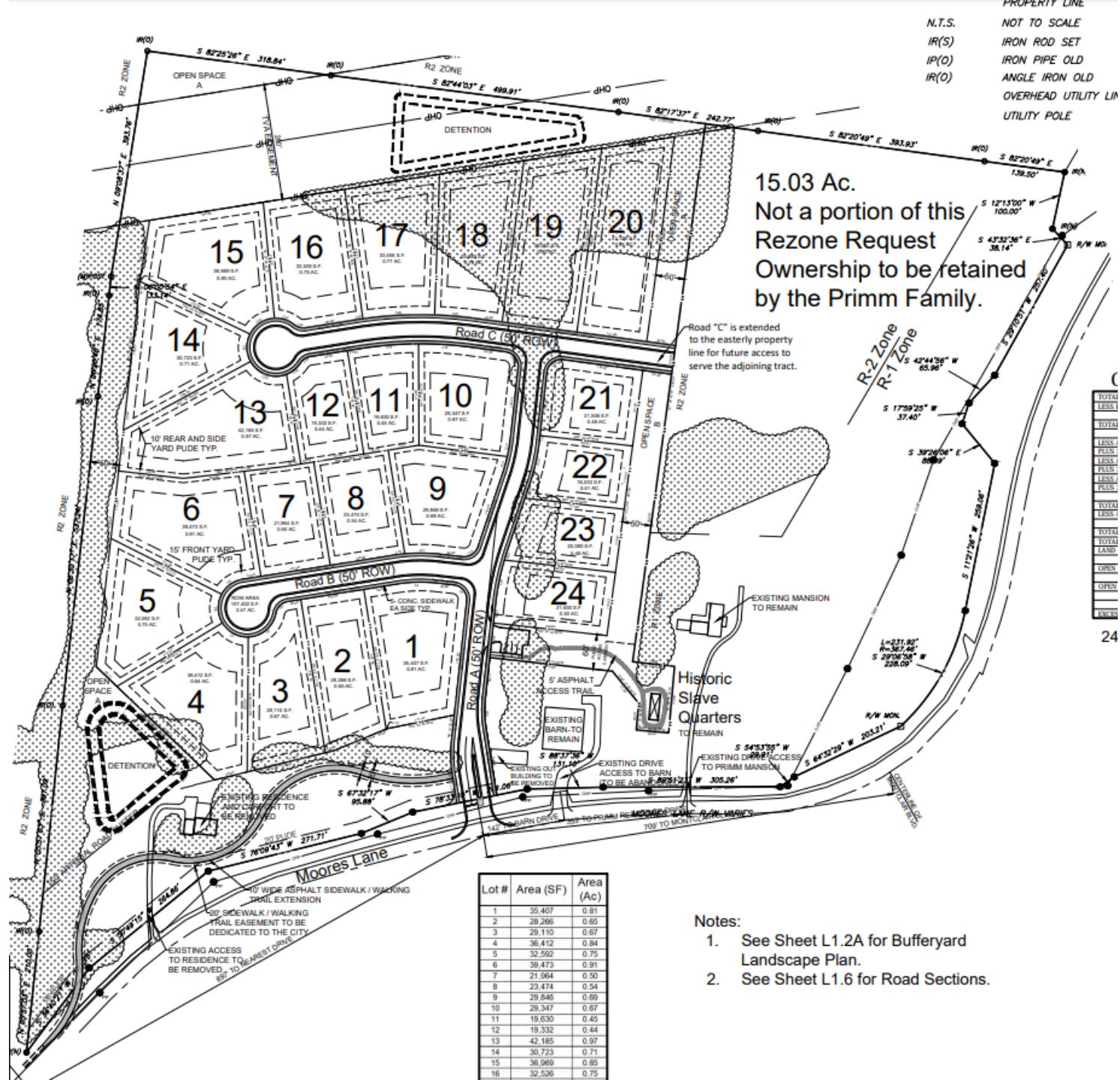
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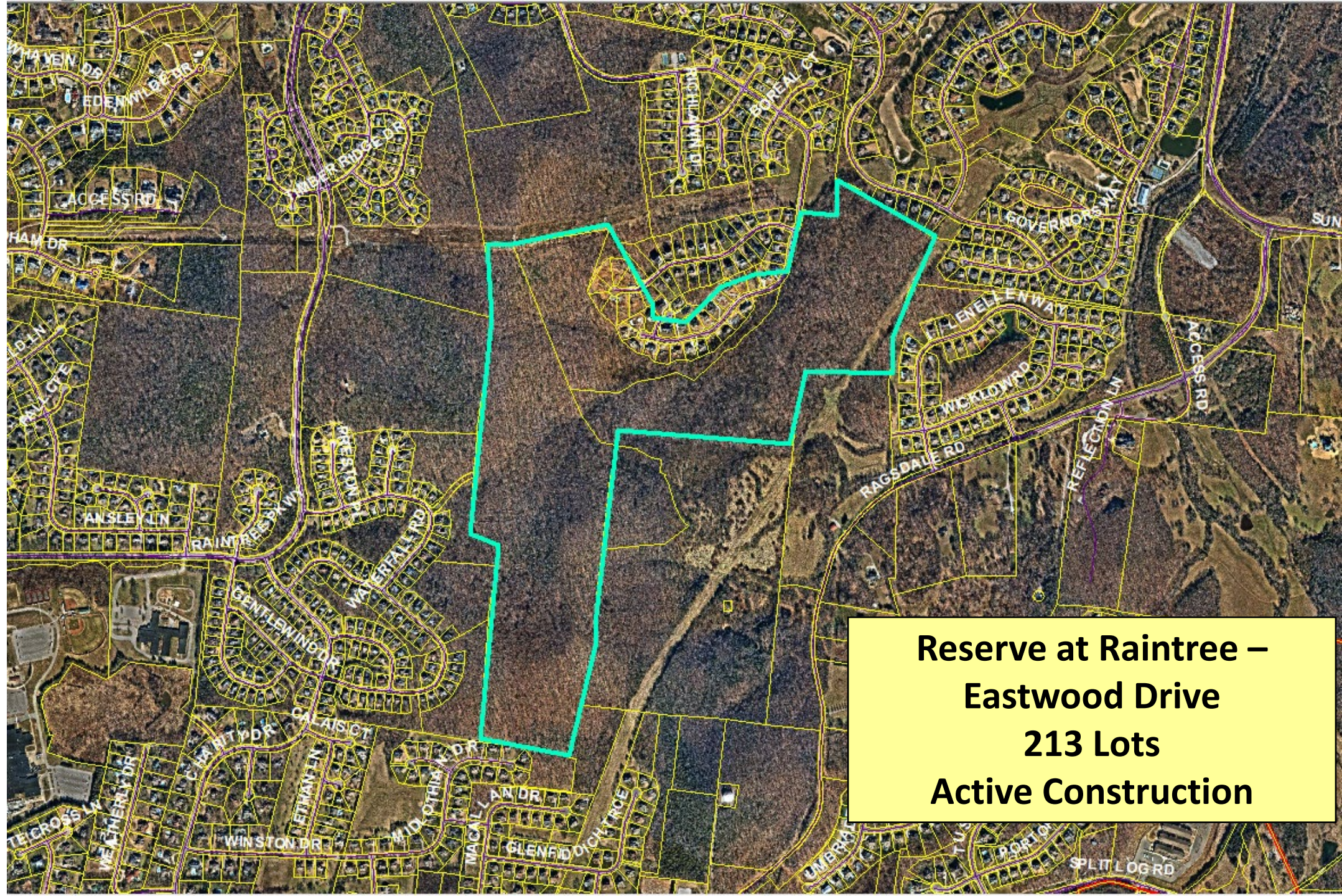
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Primm Farm – Moores Lane
24 Lots
Active Construction

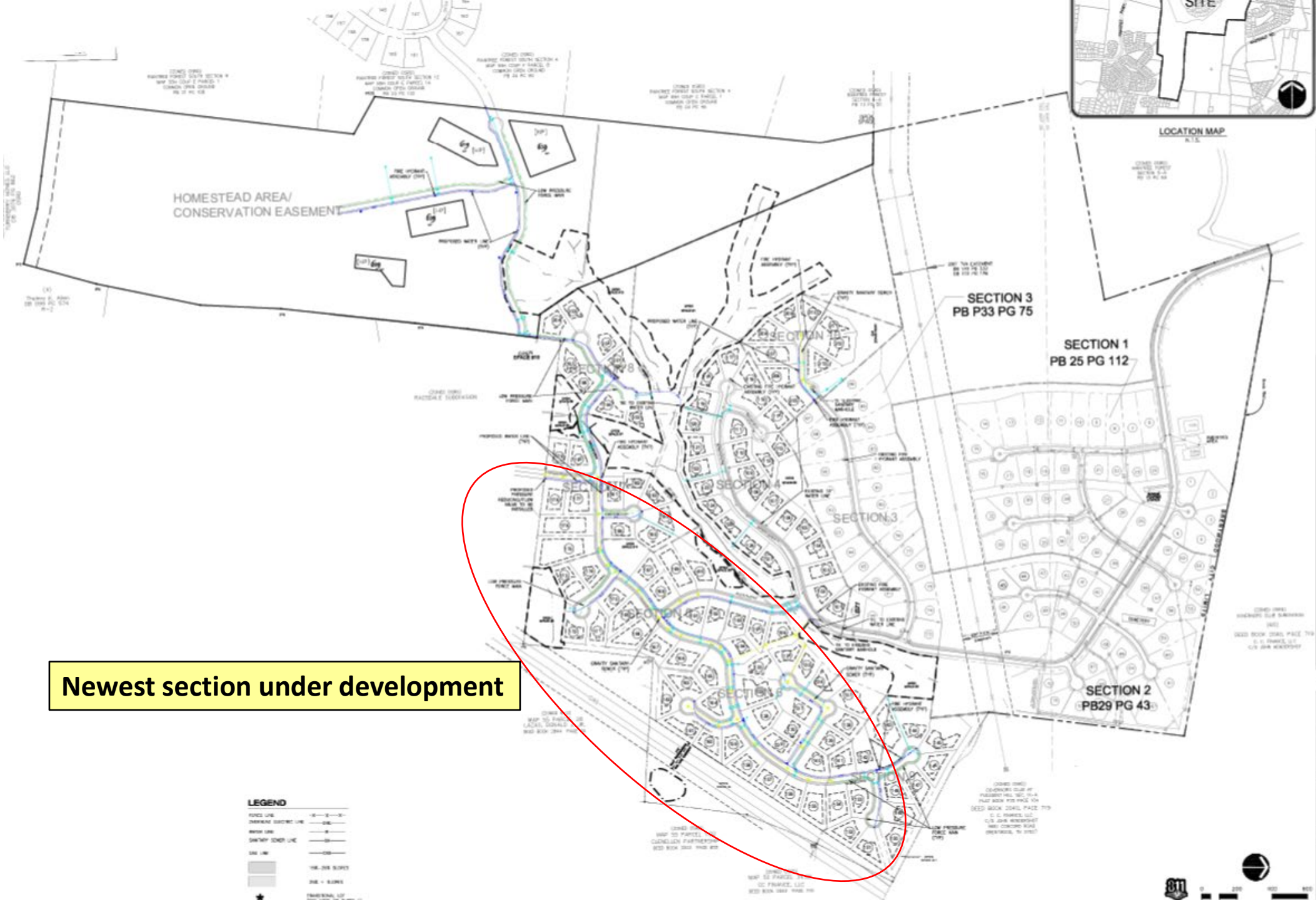
Primm Property







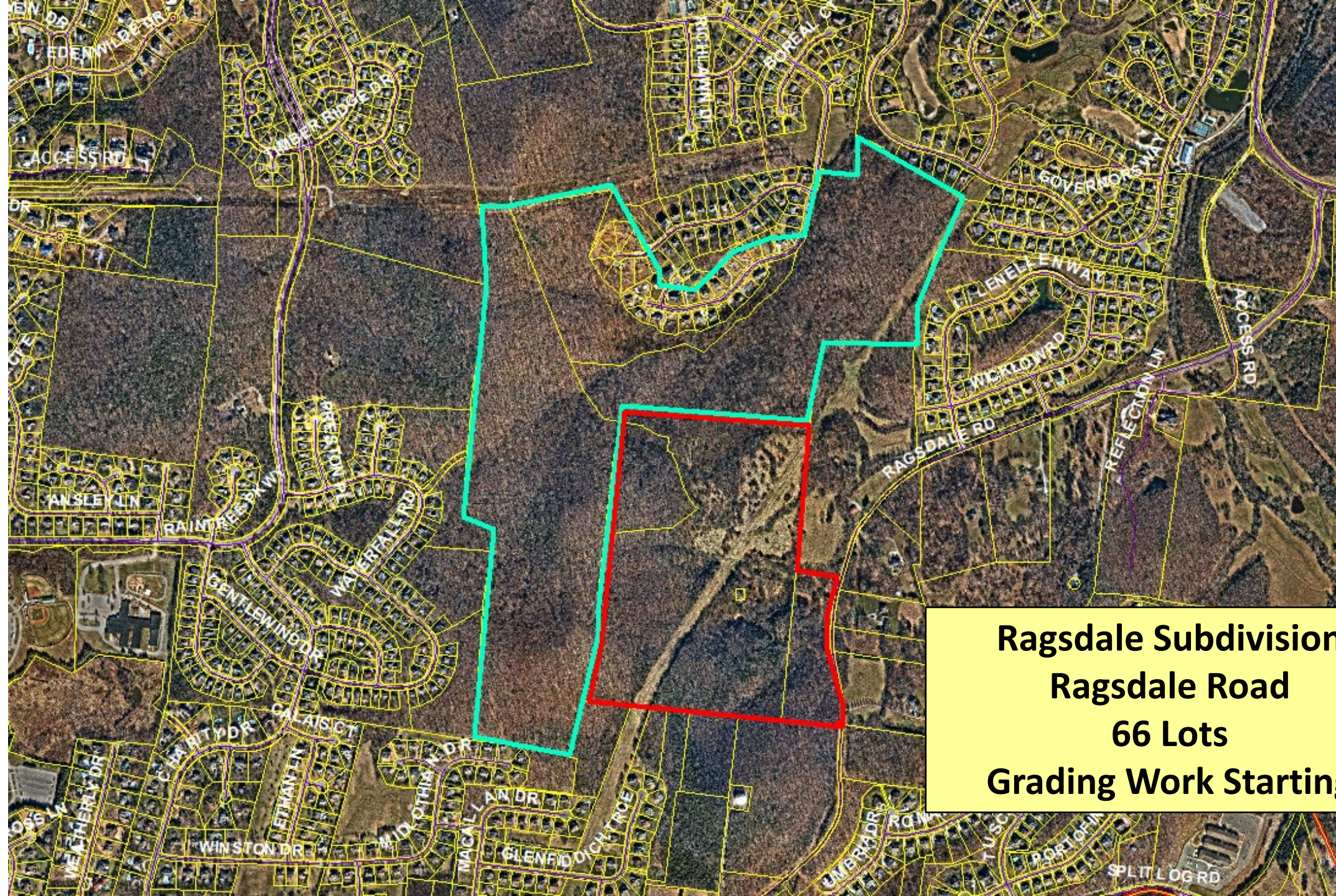
**Reserve at Raintree –
Eastwood Drive
213 Lots
Active Construction**



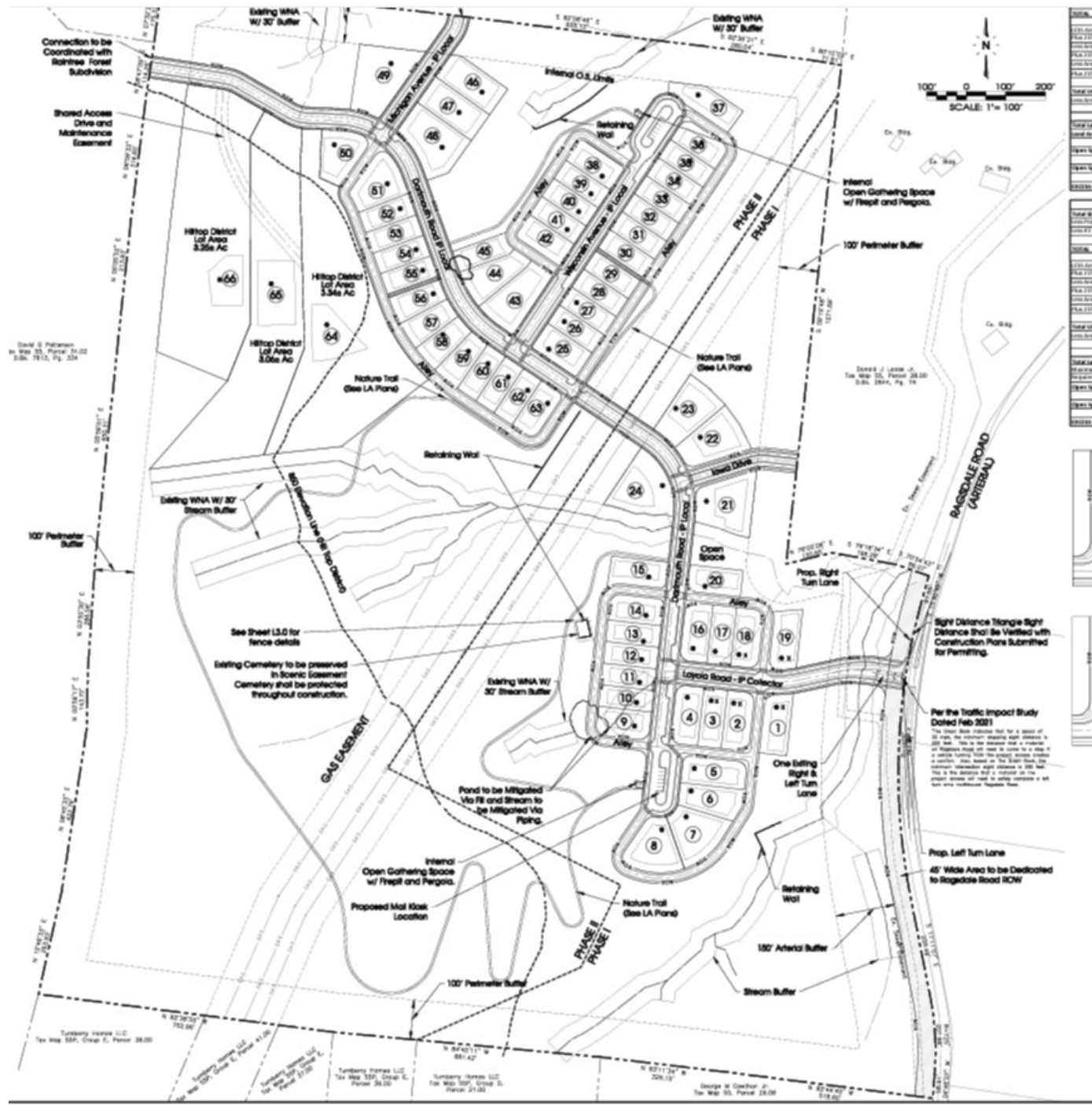
Newest section under development

THE RESERVE AT RAINTREE FOREST
FOR
RAINTREE CAPITAL, LLC

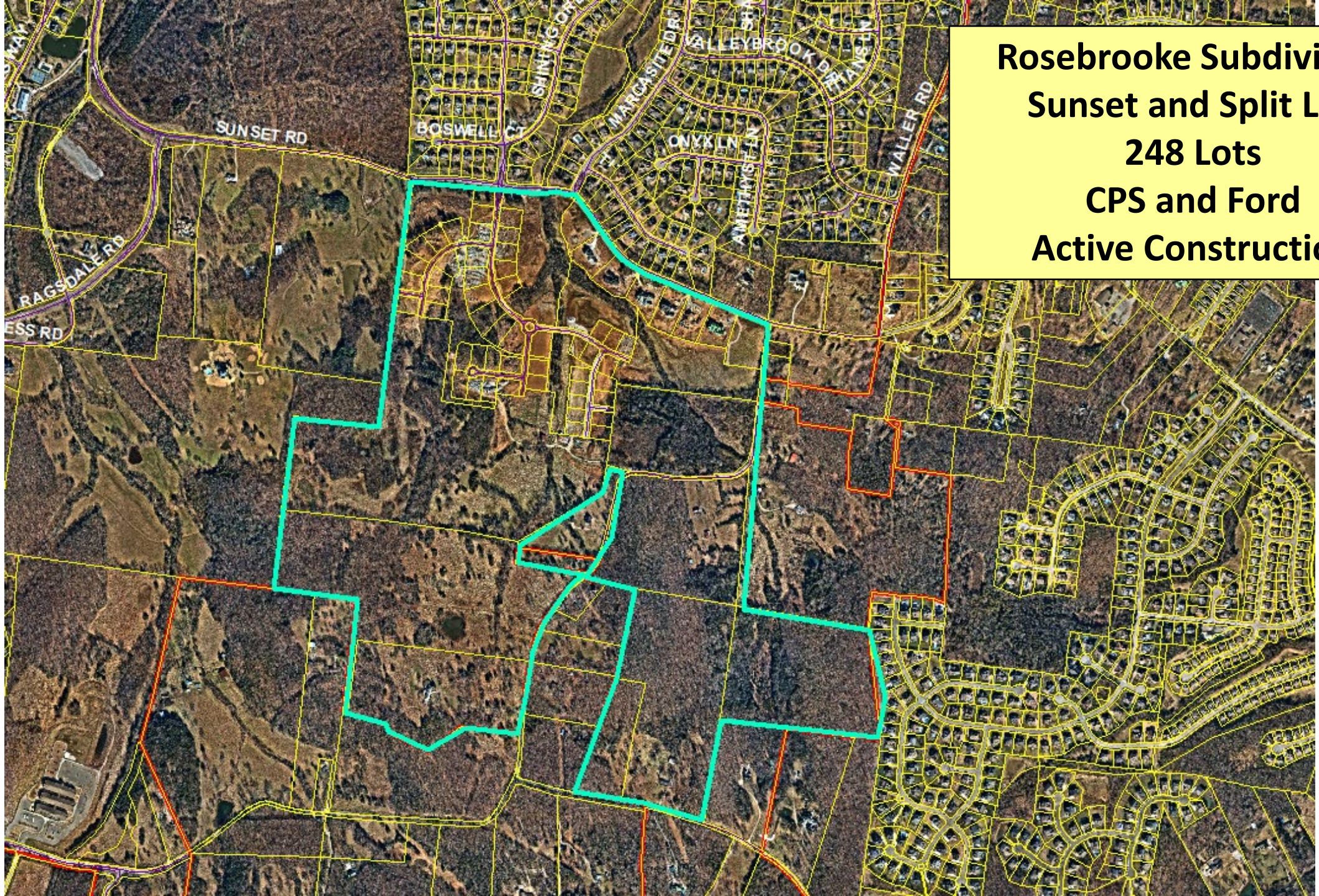
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PROJECT	10045
DESIGNED	MA
DRAWN	J. HARRIS
SCALE	1"=40'
TITLE	UTILITY PLAN

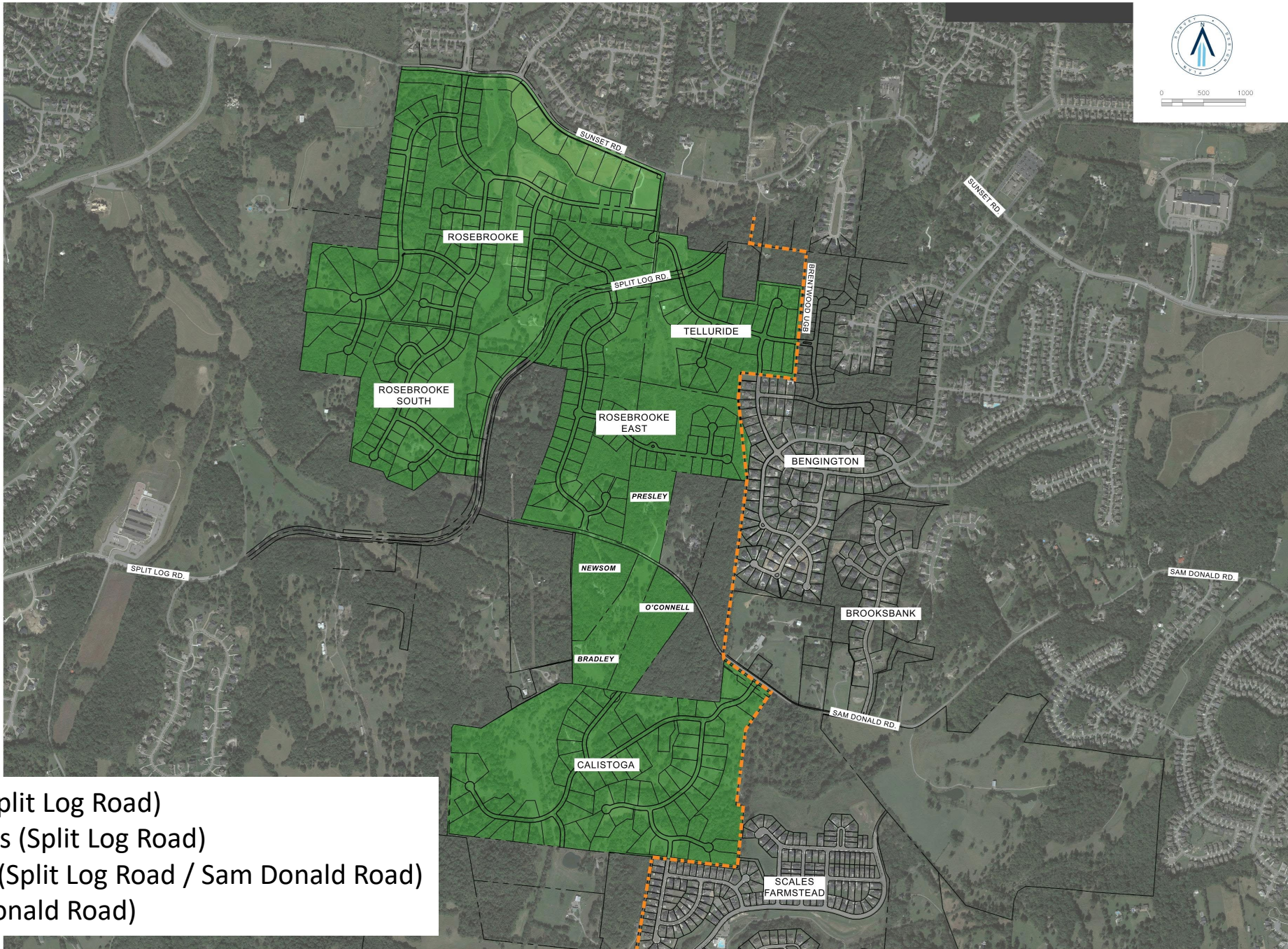


**Ragsdale Subdivision
Ragsdale Road
66 Lots
Grading Work Starting**



**Rosebrooke Subdivision
Sunset and Split Log
248 Lots
CPS and Ford
Active Construction**





**CURRENT DEVELOPMENTS MAP
SPLIT LOG CORRIDOR**

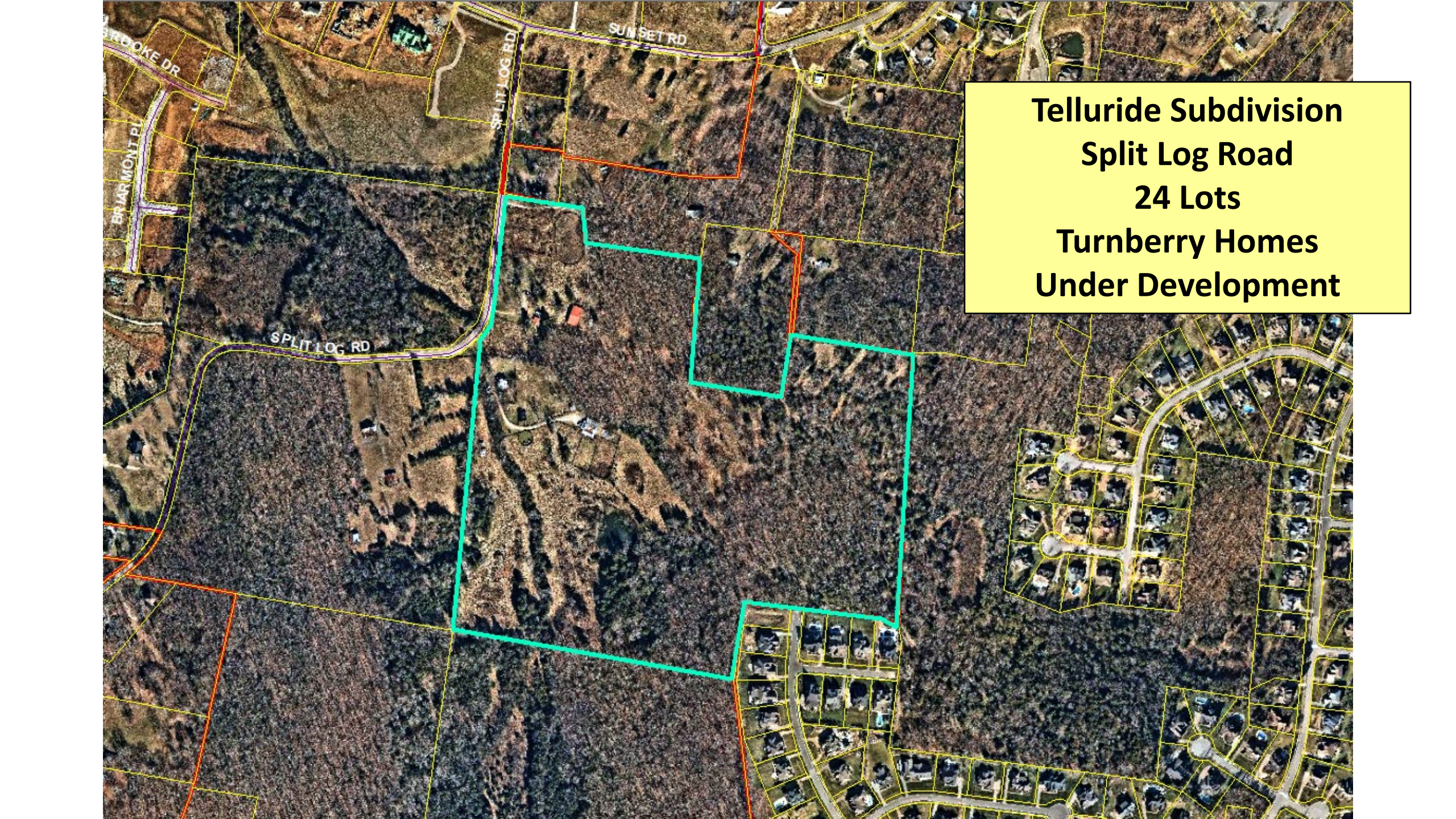
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Date: MARCH 17, 2023
Approved By: TF
Drawn By: TF
Revisions:

Drawing Title:
EXHIBIT

Drawing No.
VICINITY MAP
Project No.
21-0337

Rosebrooke Main – 124 (Split Log Road)
Rosebrooke South – 47 lots (Split Log Road)
Rosebrooke East – 74 lots (Split Log Road / Sam Donald Road)
Calistoga – 62 lots (Sam Donald Road)



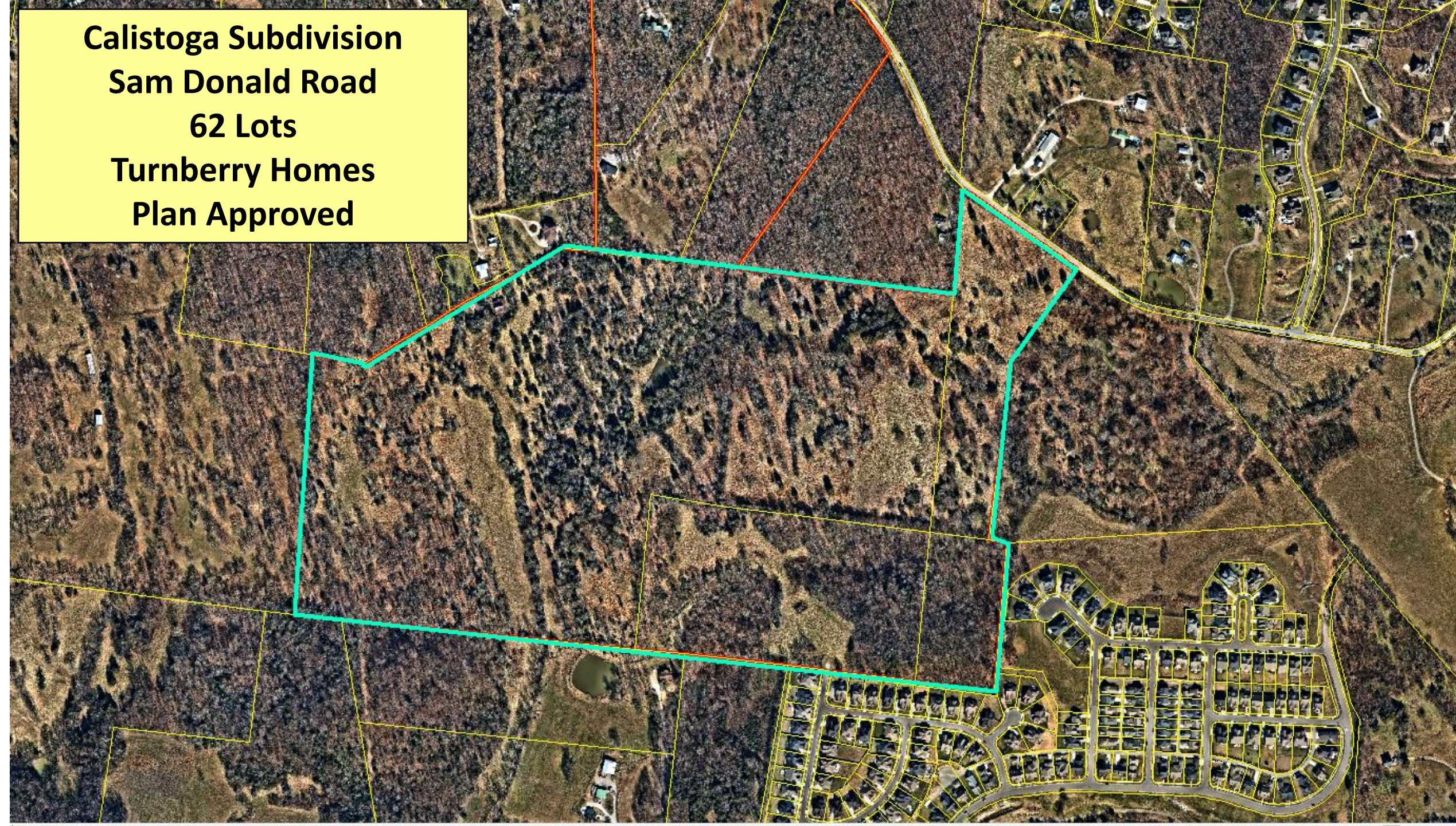


**Telluride Subdivision
Split Log Road
24 Lots
Turnberry Homes
Under Development**

This is an aerial photograph of a residential subdivision. A large area in the center-left is outlined in a bright cyan color, indicating the 24 lots under development. The area is bounded by Split Log Road to the north and west, and by a road that runs parallel to Sunset Road to the east. The terrain is hilly and wooded. To the right of the cyan-outlined area, there is a more developed section of the subdivision with many smaller lots, some of which are outlined in yellow. The text in the yellow box provides context for the map, identifying the subdivision as Telluride, the specific road as Split Log Road, the number of lots as 24, and the project as Turnberry Homes Under Development.

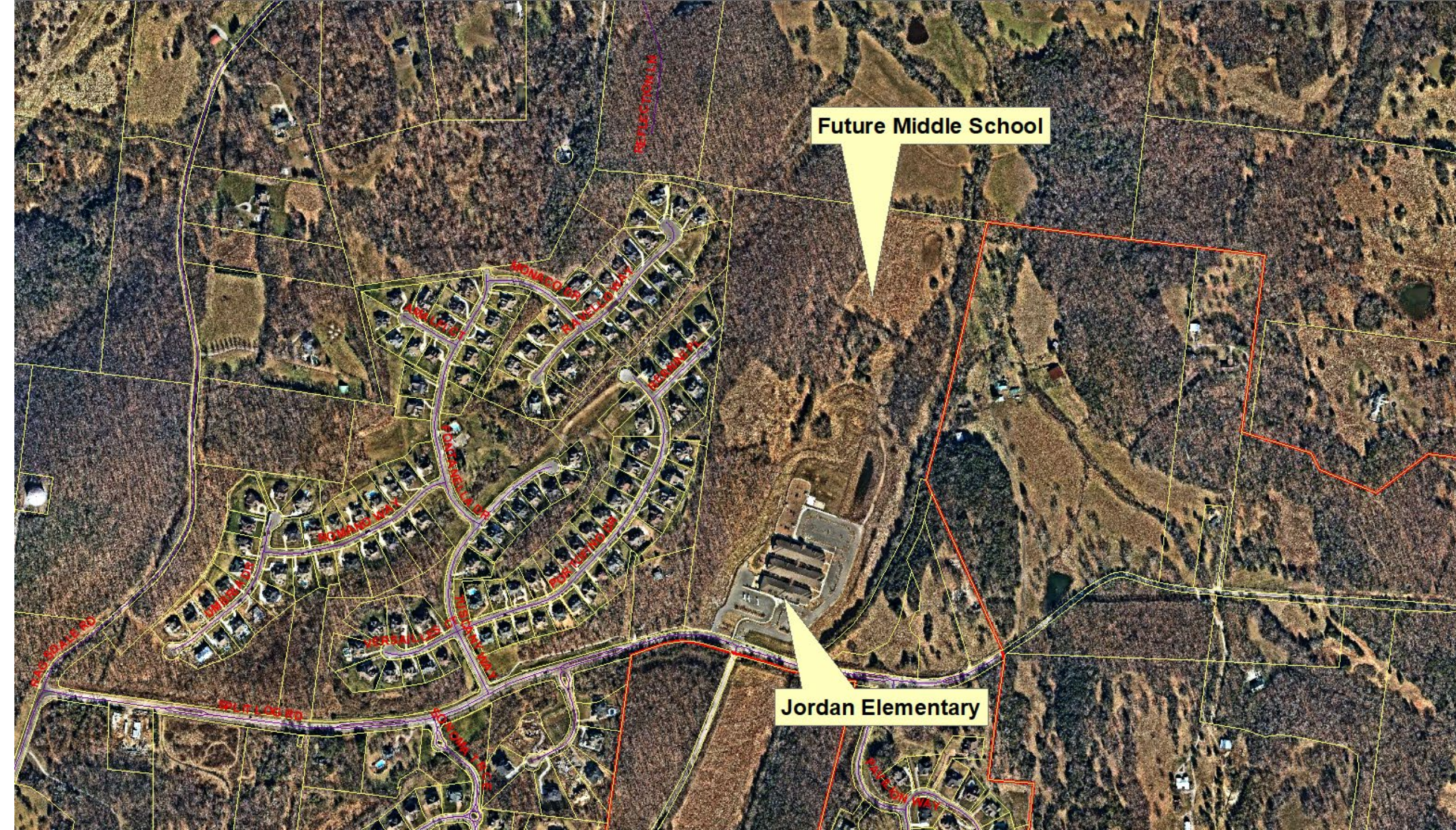


**Calistoga Subdivision
Sam Donald Road
62 Lots
Turnberry Homes
Plan Approved**





City and School Projects

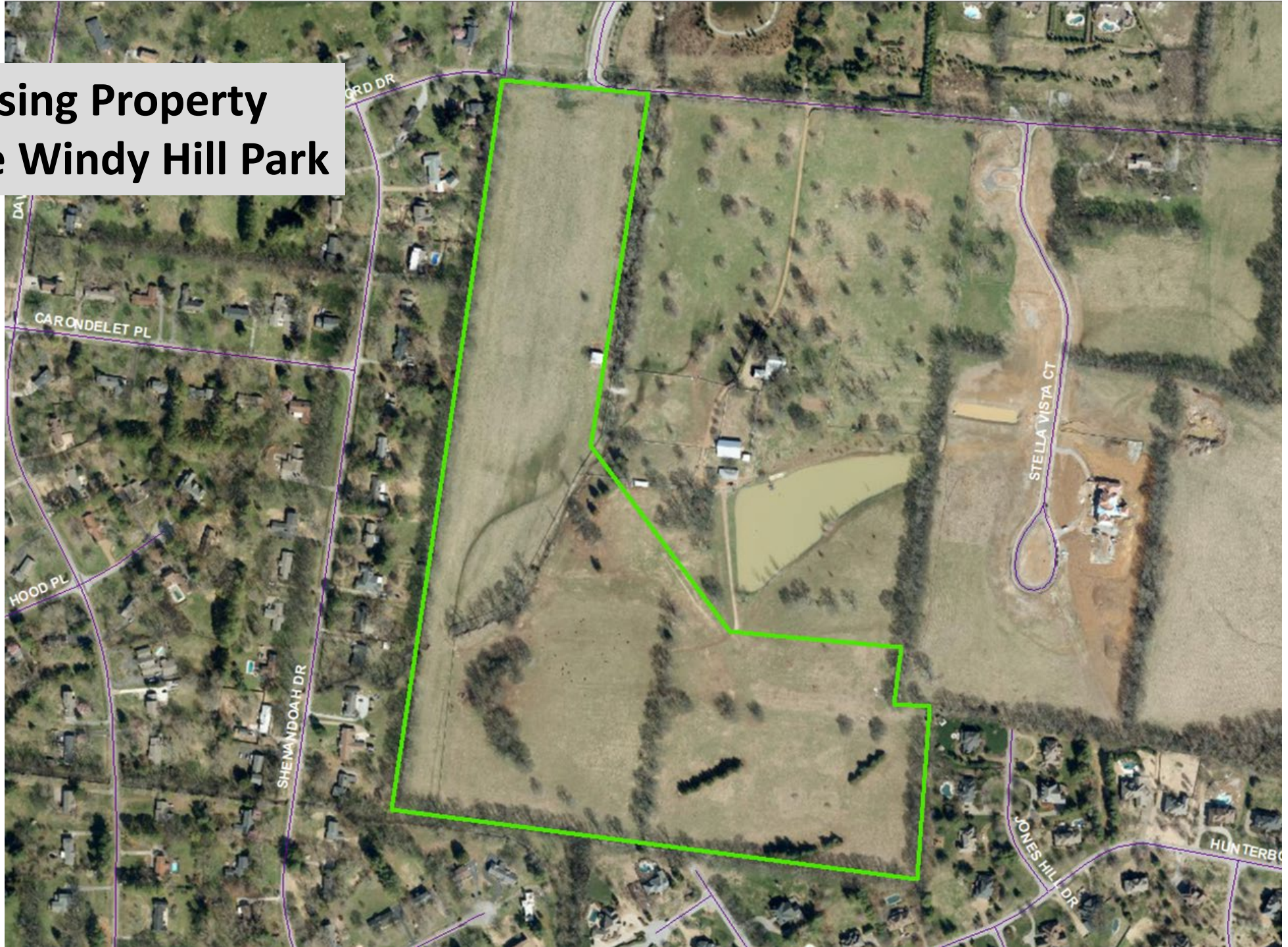




Search



**Sensing Property
Future Windy Hill Park**

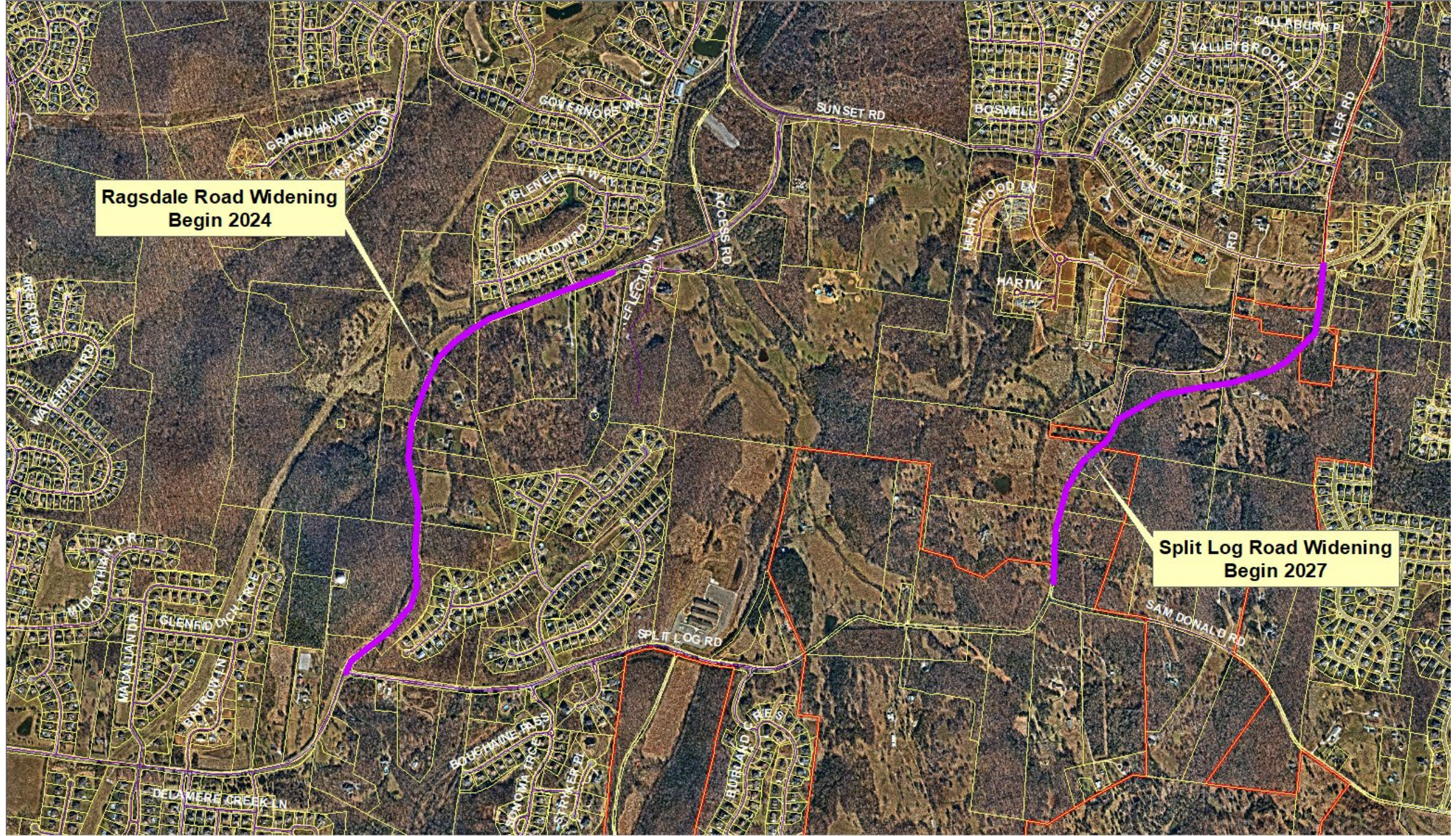


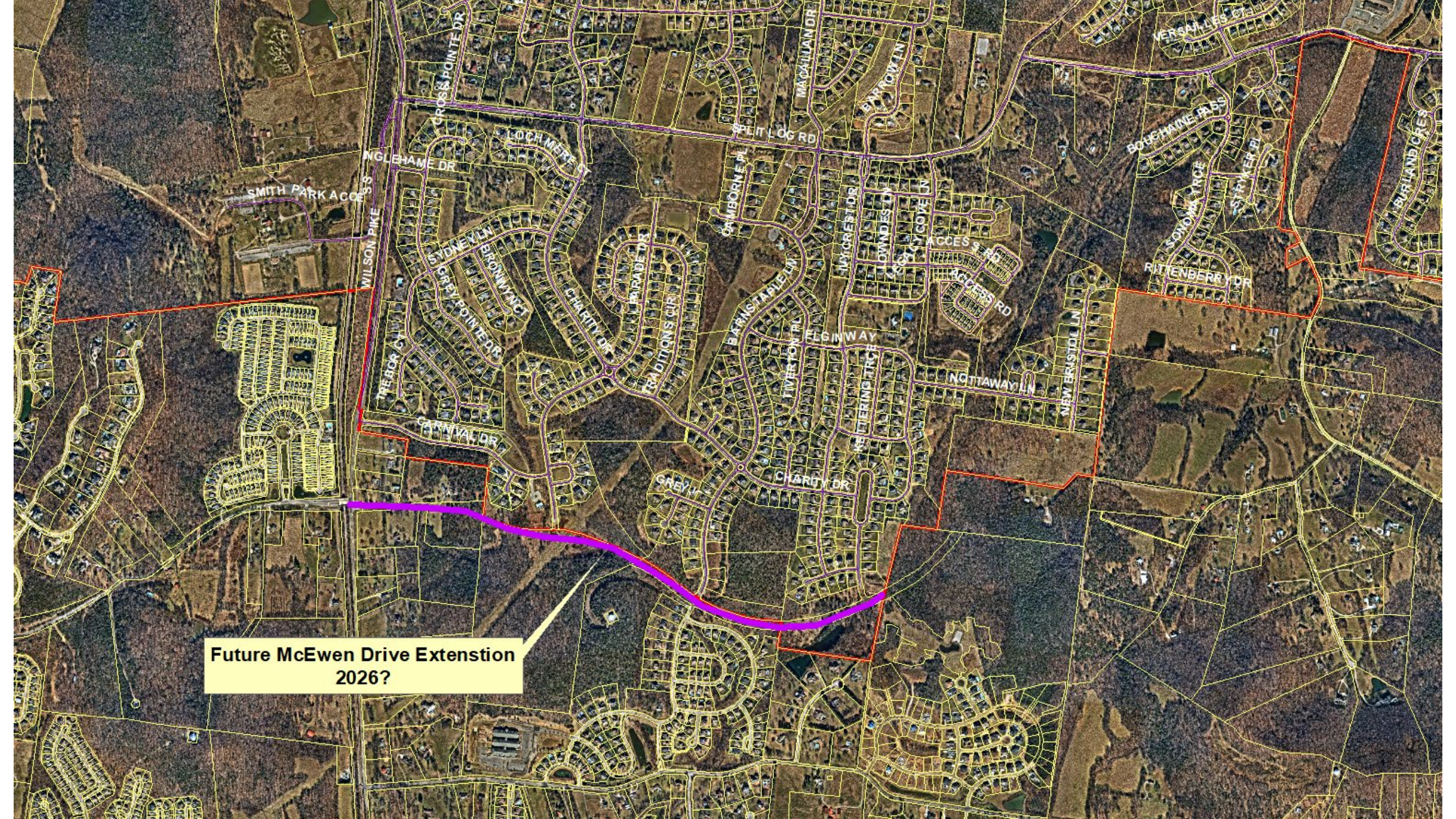




**Ragsdale Road Widening
Begin 2024**

**Split Log Road Widening
Begin 2027**





This is an aerial photograph of a suburban residential area. The map shows a network of streets, many of which are highlighted with yellow lines. A prominent purple line, representing a proposed future road extension, starts from the left side of the image, runs horizontally, and then curves slightly upwards towards the right. The area is densely packed with houses and some larger commercial or institutional buildings. A yellow callout box with a pointer indicates the purple line.

**Future McEwen Drive Extension
2026?**



BRENTWOOD
TENNESSEE

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